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RESIDENTIAL SENIOR HOUSING LOT RF-7, HAMMONDS PLAIN RD., NS



UNIT COUNT (ADAPTABLE)				\prec	INDOOR AMENITY		
Level	Name		TYPE OF	Count	\sum	Name	Level	Are
			UNIT		\sum	CORRIDOR A	U/G PARKING	8 m²
LEVEL 1	TYPE A		BR.+DEN	4	$\overline{\langle}$	ELEV. CON.	U/G PARKING	12 m²
LEVEL 1	TYPE B		BR.+DEN	6	$\langle \rangle$	ELEV. LOBBY	U/G PARKING	12 m²
LEVEL 1	TYPE C		BR.+DEN	8	\sum	GARBAGE ROOM	U/G PARKING	35 m²
LEVEL 1	TYPE D		BR.+DEN	1	\mathbf{z}	GYM	U/G PARKING	37 m²
LEVEL 1	TYPE E	1	BR.	2	$\langle \rangle$	MAIN ELEC./COMM. RM	U/G PARKING	34 m²
				21	$\sum_{i=1}^{n}$	MECH. ROOM	U/G PARKING	26 m²
					\mathbf{z}	SPRINKLER ROOM	U/G PARKING	19 m²
LEVEL 2	TYPE A	2	BR.+DEN	4	$\langle \rangle$	STAIR A	U/G PARKING	13 m²
LEVEL 2	TYPE B	1	BR.+DEN	6	$\sum_{i=1}^{n}$	STGE	U/G PARKING	369 m²
LEVEL 2	TYPE C	2	BR.+DEN	8	Ź	U/G PARKING	U/G PARKING	2077 m ²
LEVEL 2	TYPE D	2	BR.+DEN	1	$\overline{\langle}$	AMENITY	LEVEL 1	41 m ²
LEVEL 2	TYPE E.1	1	BR.	2	$\sum_{i=1}^{n}$	CORRIDOR	LEVEL 1	192 m ²
				21	\mathbf{z}	CORRIDOR B	LEVEL 1	11 m ²
					$\overline{\langle}$	CORRIDOR C	LEVEL 1	11 m ²
LEVEL 3	TYPE A	2	BR.+DEN	4	$\sum_{i=1}^{n}$	ELEC.	LEVEL 1	3 m²
LEVEL 3	TYPE B	1	BR.+DEN	6	$\overline{\chi}$	LOBBY	LEVEL 1	35 m²
LEVEL 3	TYPE C	2	BR.+DEN	8	$\langle \rangle$	OFFICE	LEVEL 1	25 m²
_EVEL 3	TYPE D	2	BR.+DEN	1	\sum	PARCEL RM.	LEVEL 1	4 m²
EVEL 3	TYPE E.1	1	BR.	2	Z	STAIR A	LEVEL 1	13 m ²
LEVEL 3	TYPE F	1	BR.	1	\prec	STAIR B	LEVEL 1	12 m ²
				22		STAIR C	LEVEL 1	12 m ²
TOTAL:				64	Z	VESTIBULE	LEVEL 1	31 m²
		\sim		\mathcal{A}		CANOPY	LEVEL 2	26 m²
\bigcirc \bigcirc \bigcirc \bigcirc \bigcirc					3	CORRIDOR	LEVEL 2	192 m ²
						ELEC. ROOM	LEVEL 2	6 m²
UNIT MIX (ADA	APTABLE)					JAN.	LEVEL 2	3 m²
Name	Comments	Count	Area	Percentage		LOBBY	LEVEL 2	16 m ²
AMENITY		1	0 m²	0%		STAIR A	LEVEL 2	13 m ²
COMM. RM		1	0 m²	0%		STAIR B	LEVEL 2	12 m ²
TYPE A	2BR.+DEN	12	1360 m ²	18%		STAIR C	LEVEL 2	12 m ²
TYPE B	1BR.+DEN	18	1740 m ²	28%		CORRIDOR A.1	LEVEL 3	192 m ²
	2BR.+DEN	24	2841 m ²	37%		ELEC. ROOM	LEVEL 3	6 m²
TYPE C	2BR.+DEN	3	364 m ²	5%		JAN.	LEVEL 3	3 m²
TYPE C TYPE D		2	140 m ²	3%		LOBBY	LEVEL 3	16 m²
	1BR.							
TYPE D	1BR. 1BR.	4	331 m²	6%		STAIR A	LEVEL 3	13 m²
TYPE D TYPE E				6% 2%		STAIR A STAIR B	LEVEL 3 LEVEL 3	13 m ² 12 m ²
TYPE D TYPE E TYPE E.1	1BR. 1BR.		331 m²					

Name	Comments	Count	Area	Percentage
AMENITY		1	0 m²	0%
COMM. RM		1	0 m²	0%
TYPE A	2BR.+DEN	12	1360 m ²	18%
TYPE B	1BR.+DEN	18	1740 m²	28%
TYPE C	2BR.+DEN	24	2841 m²	37%
TYPE D	2BR.+DEN	3	364 m²	5%
TYPE E	1BR.	2	140 m²	3%
TYPE E.1	1BR.	4	331 m²	6%
TYPE F	1BR.	1	74 m²	2%
TYPE I (GUEST ROOM)	1BR.	1	74 m²	2%
TOTAL AREA:		67	6924 m²	100%
RESIDENTIAL GROS	SS FLOOR	AREA		
Level			Area	
Not Placed	С) m²		
U/G PARKING	2	2642 m ²		
LEVEL 1	2	2793 m²		
LEVEL 2	2	2789 m²		
LEVEL 3	2	2763 m²		
TOTAL AREA:	1	0986 m ²		

VEHICLE PARKING REQUIRED NUMBER OF PARKING BY LAW: RESIDENTIAL PARKING 1/UNIT : 65 HANDICAPPED PARKING : 6 LOADING ZONE AREA : 2													
LEVEL	NAME	TYPE	SIZE	PROVIDED									
U/G PARKING	HANDICAPPED PARKING	INDOOR	6.10 x 3.85 m	2									
LEVEL 1	HANDICAPPED PARKING	OUTDOOR	6.10 x 3.85 m	4									
				6									
LEVEL 1	LOADING ZONE	OUTDOOR		2									
				2									
U/G PARKING	RESIDENTIAL PARKING	INDOOR	6.10 x 2.4 m	77									
LEVEL 1	RESIDENTIAL PARKING	OUTDOOR	6.10 x 2.4 m	41									
		· · · · · · · · · · · · · · · · · · ·		118									
TOTAL				126									

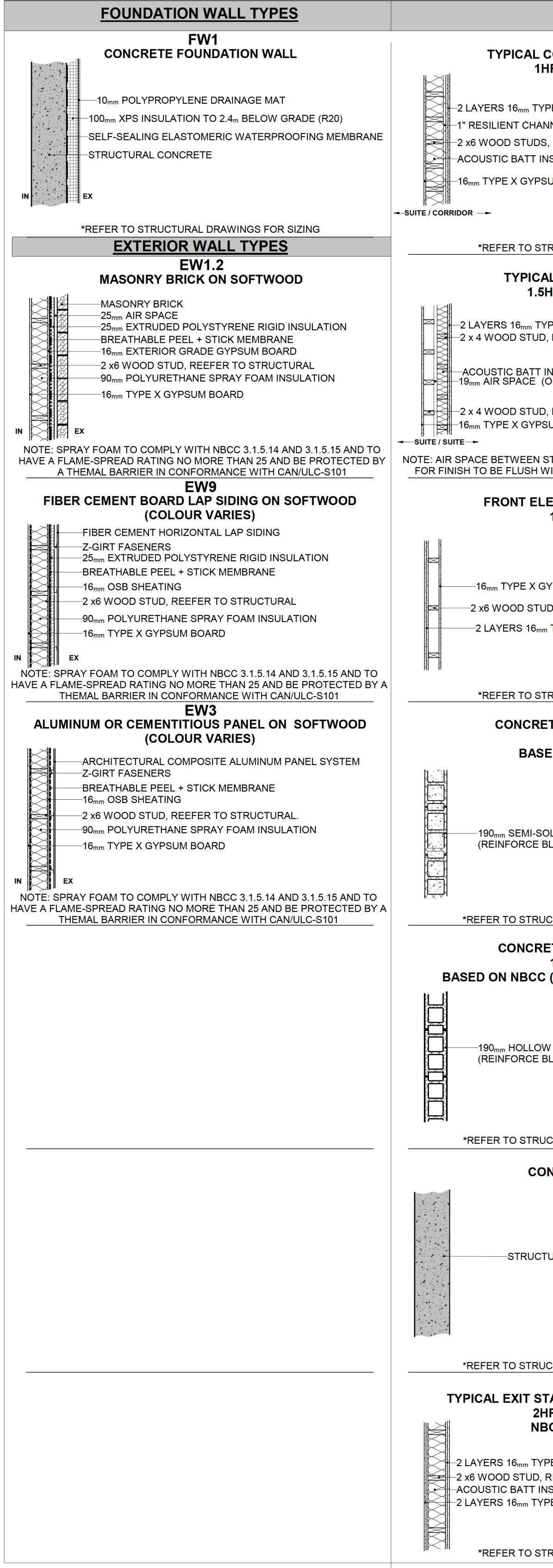
Area	• 20' • NO	<u>NALYSIS</u> 15 NATIONAL BUILDING CODE OF CANADA VA SCOTIA BUILDING CODE REGULATIONS 15 NATIONAL FIRE CODE OF CANADA (NFC											
	1 <u>PROJ</u>	ECT NAME & LOCATION											
	AFFOR LOT RE	OSED SENIOR BUILDING RDABLE HOUSING PROJECT ADAPTAB -7 HAMMONDS PLAIN RD., NS BARRIER- 0346874 MU-1											
) ²	2 BUILDING CLASSIFICATION												
m²)²	• THE I	BUILDING IS CLASSIFIED UNDER 3.2.2.50 (GROUP C, U BUILDING IS A 3 STORY BUILDING HAVING AN AVERAG BUILDING FOOTPRINT AREA IS 2,701.46 _{Sqm}											
	• THE I	BUILDING ROOF AREA = 3,370.826 sqm											
	3 RESI	DENTIAL USES:											
<u></u>	ROOF CANOF TOTAL MAX. L SIDE Y REAR FRONT	REA: 32,455.79 sqm OVERAGE: 10.469 % (See calculation below) AREA = 3,370.826 sqm PY AREA AT MAIN ENTRANCE = 27 sqm ROOFED AREA ABOVE GRADE= 3,397.826 sqm OT COVERAGE: 35.0% = 11,359.5265 sqm ARD = 10.29m [MIN. 2.4m] YARD = 123.2m [MIN. 2.4m] YARD = 13.82m [MIN. 6.1m] ING HEIGHT = 10.128m [(MAX. BUILDING HEIGHT= 10.7)											
ا ²													
		Sheet List											
	Sheet	Ole s of News											
	Number A000	COVER Sheet Name											
	A000	PROJECT DATA, GENERAL NOTES, SHEET LIST & CO											
	A002	WALL ASSEMBLIES											
m²	A003	DOORS SCHEDULES											
	A004	FIRE SEPARATION PLANS											
	A005	FIRE SEPARATION PLANS & COMPARTMENTS											
	A101	SITE PLAN											
	A102	U/G PARKING & MAIN FLOOR PLAN											
	A103	2nd & 3rd FLOOR PLAN											
	A104	ROOF PLAN											
	A201	FRONT ELEVATION											
	A202	REAR ELEVATION											
	A203	LEFT & RIGHT ELEVATION											
	A301	BUILDING SECTIONS											
	A401	STAIR TYPE A											
	A402	STAIR TYPE B & C											
	A701	UNIT TYPE A,B,C,D,E & E.1											

A702 UNIT TYPE F,I,G,H & J

	2	CCCTCANE 2.1 RIVITEGUE BESTON COLL CCCTCANE 2.1 RIVITEGUE BESTON COLL COLL COLL COLL COLL COLL COLL CO	DRAWINGS ARE NOT TO BE SCALED. DNTRACTOR WILL VERIFY ALL EXISTING DNDITIONS AND DIMENSIONS REQUIRED D PREFORM THE WORK AND REPORT NY DISCREPANCIES WITH THE RAWINGS TO THE ARCHITECT(S) BEFORE DMMENCING WORK. THE ARCHITECT(S) BEARS NO ESPONSIBILITY FOR THE TERPRETATION OF THE DRAWINGS BY HE CONTRACTOR. UPON APPLICATION, RAPHIC CLARIFICATION OR JPPLEMENTARY INFORMATION EGARDING THE INTENT OF THE RAWINGS WILL BE PROVIDED. ALL PRINTS AND SPECIFICATIONS ELATED TO THIS PROJECT ARE THE ROPERTY OF PARSCO ARCHITECTS. ESIGN CAN NOT BE REPORDUCED, DPIED, OR USED FOR CONSTRICTION JRPOSES WITHOUT THE APPROVAL OF HE ARCHITECT IN WRITING. CONSTRUCTION MUST CONFORM TO ALL PPLICABLE CODE, BY-LAWS, AND EQUIREMENTS OF AUTHORITIES HAVING JRISDICTION. THE ARCHITECTURAL DRAWINGS ARE TO E READ IN CONJUNCTION WITH THE IRUCTURAL DRAWINGS. IN CASES OF FFERENCES BETWEEN CONSULTANTS' DCUMENTS WITH RESPECT TO QUALITY, ZES OR SCOPE OF WORK, THE GREATER HALL APPLY. ALL GUARDS & HANDRAILS TO CONFORM D INTION BUILDING CODE. ALL DIMENSIONS SHOWN TO FINISHED JRFACES AND ELEMENTS UNLESS THERWISE NOTED. F AN ITEM IS NECESSARY FOR THE STALLATION AND PROPER ORKMANSHIP OF MATERIALS UNDER HIS CONTRACT AND IS NOT NOTED OR PECIFIED, THE CONTRACTOR SHALL
		IM 9. 1 OE ME TH EX AF AL TC 10. CC	OTIFY THE ARCHITECT BEFORE IPLEMENTATION. THE CONTRACTOR IS RESPONSIBLE FOR BTAINING ALL ON SITE DIMENSIONS & EASUREMENTS AND SHALL BECOME IOROUGHLY FAMILIAR WITH THE KISTING SITE CONDITIONS WHICH FECT THE WORK OF THIS PROJECT. NO LOWANCE WILL BE MADE FOR FAILURE O NOTE SITE CONDITIONS. ALL AREAS TO BE LEFT IN CLEAN ONDITION AT THE END OF EACH DAYS ORK.
m]		Tel: Ema Web	IENT: JPSUN@JPSUNDEVELOPMENTS.com b: WWW.JPSUNDEVELOPMENTS.com b: WWW.JPSUNDEVELOPMENTS.com NSULTANT:
	Sheet Issue	Sui	Optimized Engineering Quality Construction
	Date	Beo Tel	dford, NS B34 1E1 I: +1 (902) 402-1323 nail: <u>mranjbar@parscoeng.com</u>
	10/12/23		eb: <u>www.parscoeng.com</u>
DE REVIEW	10/12/23	SE	AL:
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	12/05/23		REVISIONS
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	12/08/23	3 F	RE-ISSUED FOR PERMIT ONLY 03/12/24
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		PR	OJECT: APARTMENT BUILDING

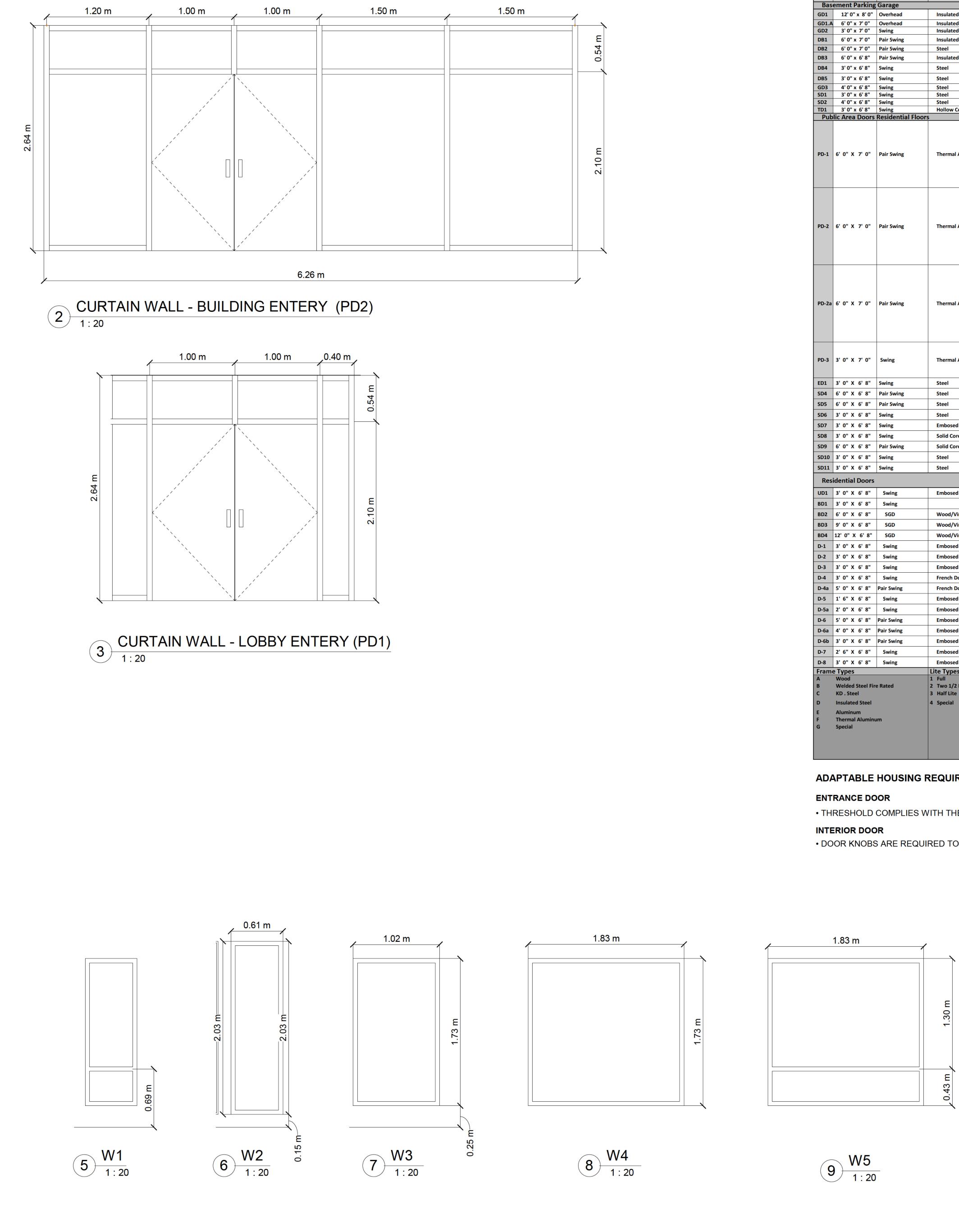
LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS. TITLE:

PROJECT DATA, GENERAL NOTES,SHEET LIST & CODE REVIEW Drawn by: Checked: M.B S.S Date: Approved: MAY 07/23 M.R Scale AS SHOWN dwg #: Project #: A001 230108



WALL/PARTI	TION TYPES
P1.B CORRIDOR PARTITION HR FRR STC 52	P11 CONCRETE BLOCK FINISHED 1 SIDE 3 HR FRR NBCC WALL B3c
YPE X GYPSUM BOARD NNELS @ 400mm O.C., REEFER TO STRUCTURAL S, REEFER TO STRUCTURAL NSULATION - MIN. R12 SUM BOARD	16 _{mm} TYPE X GYPSUM BOARD 190 _{mm} SEMI-SOLID CONCRETE MASONRY UNIT (REINF. BLOCK WALL AS REQUIRED)
TRUCTURAL DRAWINGS FOR SIZING P2.C AL DEMISING WALL SHR FRR STC 56	*REFER TO STRUCTURAL DRAWINGS FOR SIZING P13 TYPICAL SUITE INTERIOR PARTITION NBCC WALL W1 (NONE LOAD BEARING WALL)
YPE X GYPSUM BOARD D, REEFER TO STRUCTURAL	
INSULATION (PINK OR ROCKWOOL) (OR MORE, SEE BELOW) D, REEFER TO STRUCTURAL SUM BOARD	2 x 4 WOOD STUD, REEFER TO STRUCTURAL 12mm GYPSUM BOARD
STUD LAYERS TO VARY IN ORDER TO ALLOW WITH ADJACENT FINISHES OR STRUCTURE P4.B EVATOR SHAFT WALL 1.5HR FRR	*REFER TO STRUCTURAL DRAWINGS FOR SIZING P14 TYPICAL SUITE INTERIOR WALL (LOAD BEARING WALL)
GYPSUM BOARD JDS, REEFER TO STRUCTURAL m TYPE X GYPSUM BOARD	 16_{mm} TYPE X GYPSUM BOARD 2 x6 WOOD STUDS, REEFER TO STRUCTURAL 16_{mm} TYPE X GYPSUM BOARD
P8 ETE MASONRY WALL 2 HR FRR ED ON ULC U913	NOTE: FILL PARTITION CAVITY WITH ACOUSTIC BATT INSULATION WHEREVER PLUMBING LINES OCCUR FOR SOUND DAMPENING P15 TYPICAL INTERIOR STORAGE PARTITION 1HR FRR STC 32 NBCC WALL W1d
OLID CONCRETE MASONRY BLOCK BLOCK WALL AS REQUIRED)	
P8.A P8.A ETE MASONRY UNIT 1.5HR FRR 2 (2015) TABLE 9.10.3.1A B1b	*REFER TO STRUCTURAL DRAWINGS FOR SIZING
W CONCRETE MASONRY UNIT BLOCK WALL AS REQUIRED)	
DCTURAL DRAWINGS FOR SIZING P9 DNCRETE WALL	
TURAL CONCRETE	
DCTURAL DRAWINGS FOR SIZING P10.2 TAIR FIRE-RATED PARTITION HR FRR STC 55 BCC WALL W6a	
PE X GYPSUM BOARD REEFER TO STRUCTURAL NSULATION PE X GYPSUM BOARD	

	FLOOR TYPES	ROOF TYPES	NOTE: 1. DRAWINGS ARE NOT TO BE SCALED.
	FL1 STRUCTURAL SLAB ON GRADE FOR PARKING	R4 TYPICAL ROOF TRUSS 2HR FRR / R-VALUE 50	CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS REQUIRED TO PREFORM THE WORK AND REPORT ANY DISCREPANCIES WITH THE DRAWINGS TO THE ARCHITECT(S) BEFORE COMMENCING WORK.
T	102mm DEPTH CONCRETE SLAB, REFER TO STRUCTURAL PLANS TRAFFIC-COATING MEMBRANE	DARK TONE STEEL ROOF 1x3 WOOD STRAPPING ICE & WATER SHIELD MIN. 4'-0" FROM EAVE ROOF UNDERLAY BUILDING PAPER	2. THE ARCHITECT(S) BEARS NO RESPONSIBILITY FOR THE INTERPRETATION OF THE DRAWINGS BY THE CONTRACTOR. UPON APPLICATION, GRAPHIC CLARIFICATION OR SUPPLEMENTARY INFORMATION REGARDING THE INTENT OF THE
1	UNDER SLAB WATERPROOFING BELOW GRADE 100 _{mm} INSULATION 1.2 _m MEMBRANE MIN PERIMETER WHERE SLAB IS LESS THAN 2.4 _m BELOW GRADE (R8)	5/8" OSB SHEATHING PRE-ENG ROOF TRUSS 18" HEEL (BY OTHERS) INSULATION BAFFLE WHERE REQUIRED MIN. R50 BLOWN IN INSULATION 6 _{mm} POLY VAPOUR BARRIER 2 LAYERS 16mm TYPE X GYPSUM BOARD	DRAWINGS WILL BE PROVIDED. 3. ALL PRINTS AND SPECIFICATIONS RELATED TO THIS PROJECT ARE THE PROPERTY OF PARSCO ARCHITECTS. DESIGN CAN NOT BE REPORDUCED, COPIED, OR USED FOR CONSTRICTION PURPOSES WITHOUT THE APPROVAL OF THE ARCHITECT IN WRITING.
 L)	FL2 STRUCTURAL SLAB	FINISHED, PRIMED & PAINTED REFER TO STRUCTURAL PLANS R5 CANNOPY ROOF TRUSS	 4. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODE, BY-LAWS, AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. 5. THE ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE
∟,	DEPTH AND SLOPE VARIES FOR FLOOR	3% SLOPE WOOD OSB 3% SLOPE WOOD OSB WOOD STRAPING FINISHING WITH METAL ROOFING	 STRUCTURAL DRAWINGS. IN CASES OF DIFFERENCES BETWEEN CONSULTANTS' DOCUMENTS WITH RESPECT TO QUALITY, SIZES OR SCOPE OF WORK, THE GREATER SHALL APPLY. 6. ALL GUARDS & HANDRAILS TO CONFORM TO NATION BUILDING CODE. 7. ALL DIMENSIONS SHOWN TO FINISHED SURFACES AND ELEMENTS UNLESS OTHERWISE NOTED. 8. IF AN ITEM IS NECESSARY FOR THE INSTALLATION AND PROPER WORKMANSHIP OF MATERIALS UNDER THIS CONTRACT AND IS NOT NOTED OR SPECIFIED, THE CONTRACTOR SHALL
	*REFER TO STRUCTURAL PLANS FL5	*REFER TO STRUCTURAL PLANS R7	NOTIFY THE ARCHITECT BEFORE IMPLEMENTATION. 9. THE CONTRACTOR IS RESPONSIBLE FOR
	TYPICAL CONCRETE SLAB 2HR FRR	PITCHED BUMP OUT ROOF 2HR FRR / R-VALUE 32	OBTAINING ALL ON SITE DIMENSIONS & MEASUREMENTS AND SHALL BECOME THOROUGHLY FAMILIAR WITH THE EXISTING SITE CONDITIONS WHICH
	FLOOR FINISH	DARK TONE STEEL ROOF 1x3 WOOD STRAPPING ICE & WATER SHIELD MIN. 4'-0" FROM EAVE ROOF UNDERLAY BUILDING PAPER 5/8" OSB SHEATHING PRE-ENG ROOF TRUSS 18" HEEL (BY OTHERS) 1x3 WOOD STRAPING, REFER TO STRUCTURAL PLANS	AFFECT THE WORK OF THIS PROJECT. NO ALLOWANCE WILL BE MADE FOR FAILURE TO NOTE SITE CONDITIONS. 10. ALL AREAS TO BE LEFT IN CLEAN CONDITION AT THE END OF EACH DAYS WORK.
	DEPTH AND SLOPE VARIES FOR FLOOR, REFER TO STRUCTURAL PLANS	PERFORATED WOOD SOFFIT	J.P.SUN
ATION NING	NOTE: WATERPROOF APPLICATION @ ALL GARAGE AND EXPOSED BALCONY SLABS *REFER TO STRUCTURAL PLANS	SOFFIT TYPES	Tel: +1 (902) 488-3737 Email: <u>JPSUN@JPSUNDEVELOPMENTS.com</u> Web: www.JPSUNDEVELOPMENTS.com
	FL6 STRUCTURAL BALCONY DECK	S2 ENTRY SOFFIT	CONSULTANT:
	P.T. DEKING / COMPOSITE DECKING	FLOOR FINISH 127mm POLYURETHANE CLOSED CELL SPRAY FOAM INSULATION - COVER ALL PLUMBING	Suit 5 - 1350 Bedford HWY, Bedford, NS B34 1E1 Tel: +1 (902) 402-1323 Email: mranjbar@parscoeng.com Web: www.parscoeng.com
	*REFER TO STRUCTURAL PLANS		STO PROFESSIONAL E
	FL7 TYPICAL WOOD FLOOR 1HR FRR (NBCC F17b)		
	FLOOR FINISH 38 _{mm} CONCRETE TOPPING 19 _{mm} OSB SUBFLOOR		REVISIONS
	16mm TYPE X INFILL JOISTS w. ACOUSTIC GYPSUM BOARD INFILL JOISTS w. ACOUSTIC 305mm ENGINEERED FLOOR JOISTS, 1" RESILIENT CHANNELS 305mm ENGINEERED FLOOR JOISTS, @ 400mm O.C., REEFER TO 8 8 8 8 9 8 9 8 9 9		No. Description Date 1 ISSUED FOR PERMIT ONLY 12/12/23 2 RE-ISSUED FOR PERMIT ONLY 02/07/24 - - -
			PROJECT: APARTMENT BUILDING
			LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS. TITLE:
			WALL ASSEMBLIES
			Drawn by: Checked: M.B S.S
			Date: Approved: MAY 07/23 M.R
			Scale: AS SHOWN dwg #:
			Project #: A002 230108



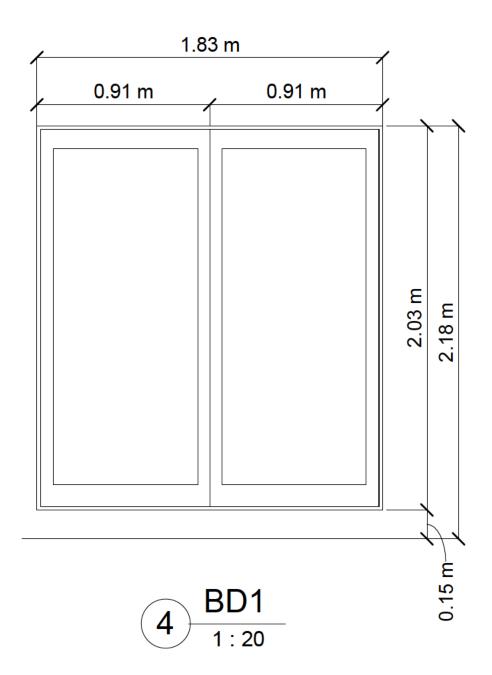
	WINDOW SCHEDULE														
Type Mark	SIZE WxH	Operation	Sill Height	Construction	SECTIONS	Count	GLAZING								
W1	0.610 mx1.727 m	FIXED AWNING	0.254 m	VINYL	2	156	Double glazing - 1/4 in thick - bluegreen/low-E (e = 0.1) glass								
W2	0.610 mx2.337 m	FIXE	0.152 m	VINYL	1	130	Double glazing - 1/4 in thick - bluegreen/low-E (e = 0.1) glass								
W3	1.016 mx2.032 m	FIXE	0.254 m	VINYL	1	12	Double glazing - 1/4 in thick - bluegreen/low-E (e = 0.1) glass								
W4	1.829 mx2.032 m	FIXE	0.254 m	VINYL	1	116	Double glazing - 1/4 in thick - bluegreen/low-E (e = 0.1) glass								
W5	1.829 mx1.727 m	FIXED AWNING	0.254 m	VINYL	2	12	Double glazing - 1/4 in thick - bluegreen/low-E (e = 0.1) glass								
						•	•								

* FIXED AWNING NOT TO OPEN MORE THAN 4" NOTE: ALL EXTERIOR WINDOW SIZES ARE BASED ON BRICK MOULD TIP TO TIP DIMENSION.

	DOOR SCHEDULE																													
A	PARTMI	NT BLDG			HAF	DW	ARE	SCHE	DUL	E																				
Тур		e Functio	n Construction Fire Ratin	Comments	Frame Types LITE TYPES	Quality Level Finish	Threshold Two Hinges Per Door Lite	Three Hinges per Door Lite Four Hinges per Door Lite	Continuous Hinge Butt Hingesl	Ball Bearing Hinges Two Way Hinges	Spring Loaded Hinges Pivot Hinges Non Removable Pins	Concealed Door Closer Standard Door Closer	Parrallel Arm Door Closer Door Stop	Mortise Lock Cylinder Lock Dead Bolt	Passage Set Fire Latch	Knob Handle Lever Handle	One Sided Hardware	Paddle Type Panic Hardware Rim Type Panic Hardware	Weatherstripping One Escutcheon Plate	Iwo escutcheon Plate Push - Pull Docor	Signage	Kick Plates	Astragal Co - ordinator	Flush Boits Electric Lock	Electric Hold Open Bi - Fold Hardware	Sliding Glass Door Hardware Bi - Pass Hardware	Pocket door Hardware Overhead Door Hardware	Remote Contral Magnetic Latch	Door Peep Hardware Protection Plate	comments
GD1		0" Overhead	Insulated Steel	Garage Exit Car	G	ВК																								Security Connection
GD1 GD2	A 6'0" x 7' 3'0" x 7'		Insulated Steel Insulated Steel	Garbage Room Exterior Garage Exit Pedestrian		B K B A	С																							Security Connection Security Connection
DB1	6' 0" x 7'	_	Insulated Steel	Garage To Elevator Lobby	B E2																						í — [— [Security Connection
DB2 DB3	6'0" x 7' 6'0" x 6'		Steel 3/4H	Garbage TO Garage Garage to Vestibule		B A B A	6																							
DB3		8" Pair Swing 8" Swing		r. Vestibule to Stair Exit		B C																								
DB5	3' 0" x 6'		Steel 3/4H			B C																					i			
GD3 SD1	4' 0" x 6' 3' 0" x 6'		Steel 3/4H Steel 1 1/2H			B A B A																								
SD2 TD1	4'0" x 6'	-	Steel 1Hr Hollow Core Wood	Mech. /comm. Storage Cubicles	В	B A C C																								
		ors Residential Flo							_				_	_					_	_			-							
PD-1	6'0"X7'	0" Pair Swing	Thermal Aluminum	Main Entry doors handicapped access :Kawneer medium style 350 with 3 horizontal stainless steel push / pull bars each face with Gyrotech 70 series power handicapped door operator . See architectural drawings for Kawnee Series 4500 side and top lite.	D1	вн	с																l							Security Connection
PD-2	6' 0" X 7'	0" Pair Swing	Thermal Aluminum	Main Vestibule Entry doors handicapped access : Kawneer medium style 350 with 3 horizontal stainless steel push / pu bars each face , with Gyrotech 70 series power handicapped door operator . Seearchitectural drawings for Kawneer Series 4500 side and top lite.	D1	вн	с																							Security Connection
PD-2	a 6'0"X 7'	0" Pair Swing	Thermal Aluminum	Main Vestibule Entry doors handicapped access : Kawneer medium style 350 with 3horizontal stainless steel push / pull bars each face , with Gyrotech 70 series powerhandicapped door operator Seearchitectural drawings for Kawneer Series 4500 side and top lite.	F	вн	с																							Security Connection
PD-3	3' 0" X 7'	0" Swing	Thermal Aluminum	Secondary Entry doors: Kawneer medium style 350 with 3 horizontal stainless steel push / pull bars each face and paddle typepanic hardware .		вн	с																							
ED1	3' 0" X 6'			Ir Stairwell		B C	С																							
SD4		8" Pair Swing 8" Pair Swing	Steel 11/2 H	Electrical / Communication Room		B C B C	С																_							
	3' 0" X 6'		Steel	Service Room		B C																					i			
SD7	3' 0" X 6'	8" Swing	Embosed Solid Core Wood	Office	Α	BC	А																							
SD8	3' 0" X 6'		Solid Core Wood	Washrooms		B C																					<u> </u>			
SD9	6'0" X 6' 3'0" X 6'	8" Pair Swing	Solid Core Wood Steel	Amenity Amenity		B C B C																								
	3'0" X 6'		Steel	Gym		B C																								
Re	sidential Do	ors																												
	3' 0" X 6'		Embosed Solid Core Wood 20 mir	Apartment Suite Entry		B C																								
	3' 0" X 6'		Wood/View	Balcony Entry Door		C C																								
	6'0"X6' 9'0"X6'		Wood/Viny Wood/Viny	Balcony Entry Door Balcony Entry Door	H D H D	с к с к															+									
BD4			Wood/Viny	Balcony Entry Door		СК																								
	3' 0" X 6'		Embosed Hollow Core Wood	Bedroom		c c																								
D-2 D-3	3' 0" X 6' 3' 0" X 6'		Embosed Hollow Core Wood Embosed Hollow Core Wood	Handicap Access Ensuite		c c c c																						\rightarrow		
D-4	3' 0" X 6'		French Door	Study / Den		c c																								
		8" Pair Swing	French Door	Study / Den	H1	c c																								
	1' 6" X 6' 2' 0" X 6'		Embosed Hollow Core Wood Embosed Hollow Core Wood	Linen Closet	A	c c c c																							-	
		8 Swing 8" Pair Swing	Embosed Hollow Core Wood	Closet	A	c c																								
		8" Pair Swing	Embosed Hollow Core Wood	Closet		c c																								
	3' 0" X 6' 2' 6" X 6'	8" Pair Swing 8" Swing	Embosed Hollow Core Wood Embosed Hollow Core Wood	Closet Closet		c c c c																								
	2' 6" X 6' 3' 0" X 6'		Embosed Hollow Core Wood Embosed Hollow Core Wood	Laundry / Storage		с с с с																								
Fran	ne Types Wood		Lite Types Glazin	g Single Plate	Quality			mercial				Fini		nless Steel						Thre	sholds _{Marb}									
B C D E F G	Welded Ste KD . Steel Insulated St Aluminum Thermal Alu Special	eel	2 Two 1/2 Les B 3 Half Lite C 4 Special E F G	Single Tempered Factory Sealed Double Glazed Factory Sealed Double Glazed (Tempered) Fire Rated Clear Fire Rated Obscure Safety Special	В	Light Co Residen	mmercia					B C D E F G H I J K	Brig Brus Brig Brus Anti Bron Ano Baka	ht Chrome shed Nickel ht Brass shed Brass que Brass nze dized ed Enamel celain						B C D E	Wood Alum Brass Specia	l inium								
AD	ΑΡΤΑΒΙ	E HOUSING	REQUIREMENTS:																											

• DOOR KNOBS ARE REQUIRED TO BE BARRIER-FREE OR ARE ABLE TO BE INSTALLED AFTERWARDS WITHIN 400 MM AND 1200 MM RANGE

• THRESHOLD COMPLIES WITH THE BARRIER-FREE REQUIREMENTS OR IS CAPABLE OF BEING MADE BARRIER-FREE



NOTE:

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TO NOTE SITE CONDITIONS.

10. ALL AREAS TO BE LEFT IN CLEAN CONDITION AT THE END OF EACH DAYS WORK.

CLIENT:



Tel: +1 (902) 488-3737 Email: <u>JPSUN@JPSUNDEVELOPMENTS.com</u> Web: <u>www.JPSUNDEVELOPMENTS.com</u> CONSULTANT:



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SEAL



REVISIONS

Date Description 1 ISSUED FOR PERMIT ONLY 12/12/23

PROJECT:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS. TITLE:

DOORS SCHEDULES

Drawn by: Checked: M.B S.S Approved: MAY 07/23 M.R

AS SHOWN

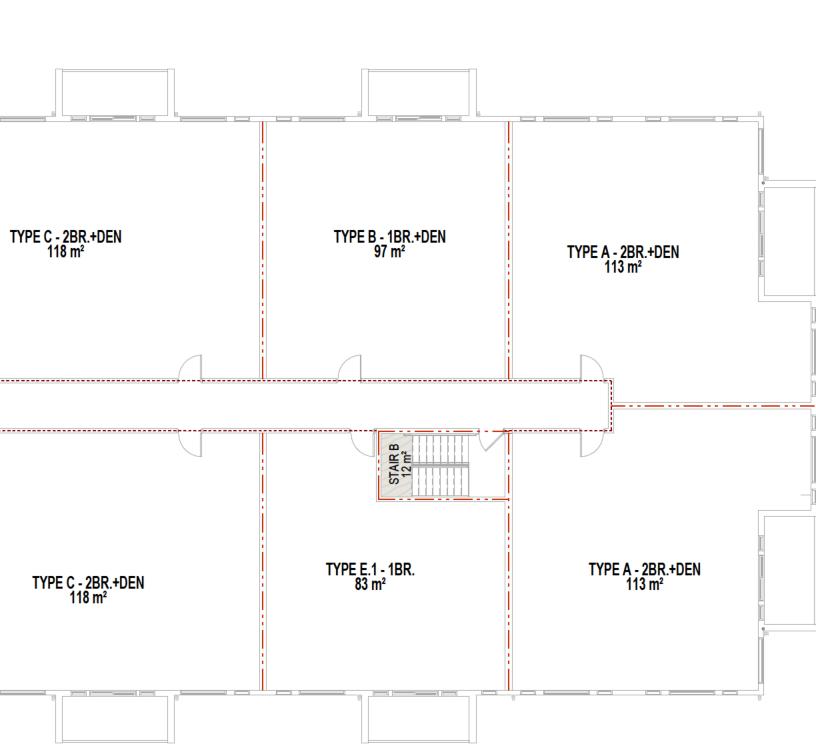
230108

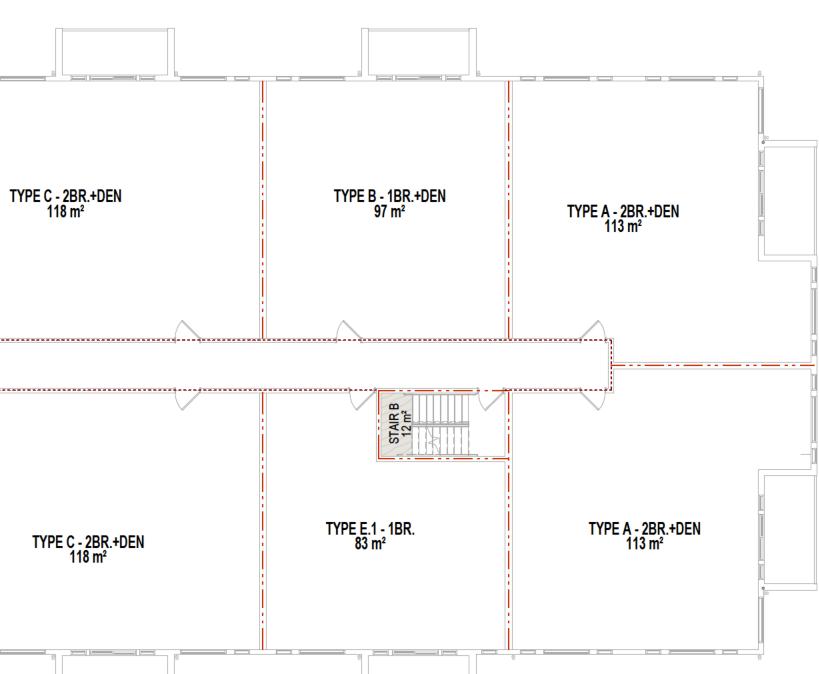
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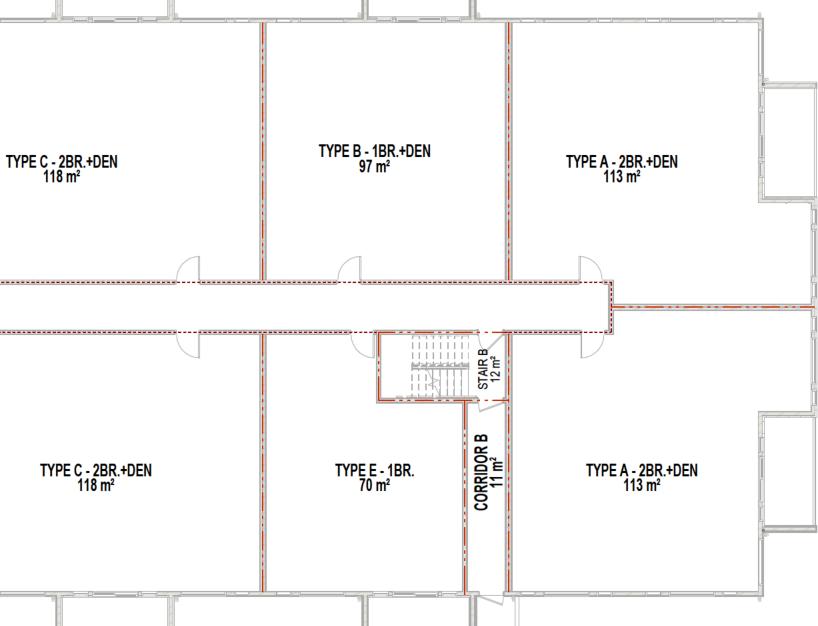
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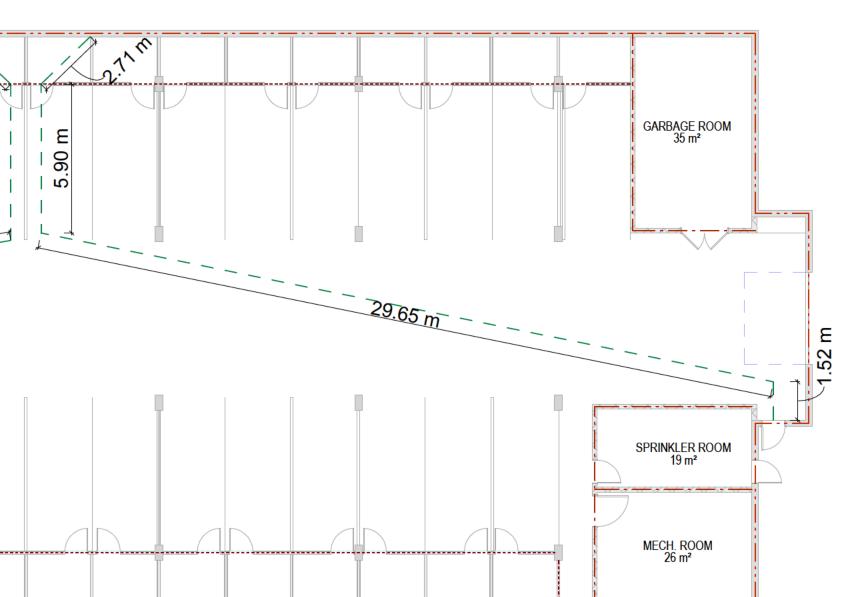


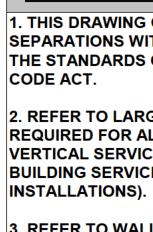
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			P. J. M. M.	
	G. B			6.20 m
 28.79 m		30.42 1	n	
	U/G PARKING 2077 m ²			
	ELEV. LOBBY			
	STAIR A 13 m ² V CON 12 m ² 37 m ²			
	S S			
	MAIN ELEC./COMM. RM			
TYPE B - 1BR.+DEN 97 m ²	TYPE D - 2BR.+DEN 121 m ²	TYPE B - 1BR.+DEN 97 m ²	TYPE C - 2BR.+DEN 118 m ²	TY
D	CORRIDOR 192 m ² ELEC. 3 m ²			
	LOBBY 35 m ² AMENITY - TYPE G 35 m ²			
TYPE B - 1BR.+DEN 97 m ²	OFFICE - TYPE J 25 m ²	TYPE B - 1BR.+DEN 97 m ²	TYPE C - 2BR.+DEN 118 m ²	
	STAIR A 13 m ² PARCEL RM: 4 m ²			
	VESTIBULE 31 m ²			
TYPE B - 1BR.+DEN 97 m ²	TYPE D - 2BR.+DEN 121 m ²	TYPE B - 1BR.+DEN 97 m ²	TYPE C - 2BR.+DEN 118 m ²	ТҮ
	CORRIDOR 192 m ² JAN. 3 m ²			
	LOBBY 16 m ² TYPE I (GUEST ROOM) - 1BR. 74 m ²	TYPE B - 1BR.+DEN 97 m ²	TYPE C - 2BR.+DEN 118 m ²	
TYPE B - 1BR.+DEN 97 m²		UT III	118 m²	
	STAIRA 13 m ²			
			TYPE C - 2BR.+DEN 118 m ²	
TYPE B - 1BR.+DEN 97 m ²	TYPE D - 2BR.+DEN 121 m ²	TYPE B - 1BR.+DEN 97 m ²	118 m²	ΤY
	CORRIDOR A.1			
	CORRIDOR A.1 192 m ² JAN. 3 m ²			
TYPE B - 1BR.+DEN 97 m ²	LOBBY 16 m ² TYPE F - 1BR. 74 m ²	TYPE B - 1BR.+DEN 97 m ²	TYPE C - 2BR.+DEN 118 m ²	
	STAIR A 13 m ²			(











3. REFER TO WALL, PARTITION, CEILING AND FLOOR TYPE SCHEDULE FOR DESCRIPTION OF DIFFERENT RATED ASSEMBLIES AS NOTED ON FLOOR PLANS AND BUILDING SECTIONS. 4. FIRE STOP ALL PENETRATIONS THROUGH FIRE SEPARATIONS TO ACHIEVE THE SAME FRR AT THE REQUIRED RATING OF THE SEPARATION.

FIRE SEPARATION NOTES

GENERAL NOTES

1. THIS DRAWING GRAPHICALLY REPRESENTS LOCATIONS OF MAJOR FIRE SEPARATIONS WITH REQUIRED FIRE RESISTANCE RATINGS (FRR) TO MEET THE STANDARDS OF THE NATIONAL BUILDING CODE AND THE NS BUILDING

2. REFER TO LARGER SCALE DRAWING DETAILS FOR ADDITIONAL FRR **REQUIRED FOR ALL OTHER FIRE SEPARATION PENETRATIONS AND ALL** VERTICAL SERVICE SPACES (VERTICAL SHAFTS FOR THE INSTALLATION OF BUILDING SERVICES INCLUDING MECHANICAL, ELECTRICAL AND PLUMBING

LEGEND

- **1 HR FIRE RESISTANCE RATING** 1.5 HR FIRE RESISTANCE RATING **____** 2 HR FIRE RESISTANCE RATING
- **— — — — TRAVEL DISTANCE**

NOTE:

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SEAL



REVISIONS

Date Description 12/12/23 1 ISSUED FOR PERMIT ONLY

PROJECT:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS. TITLE:

FIRE SEPARATION PLANS

Drawn by: Checked: M.B MAY 07/23

AS SHOWN

230108

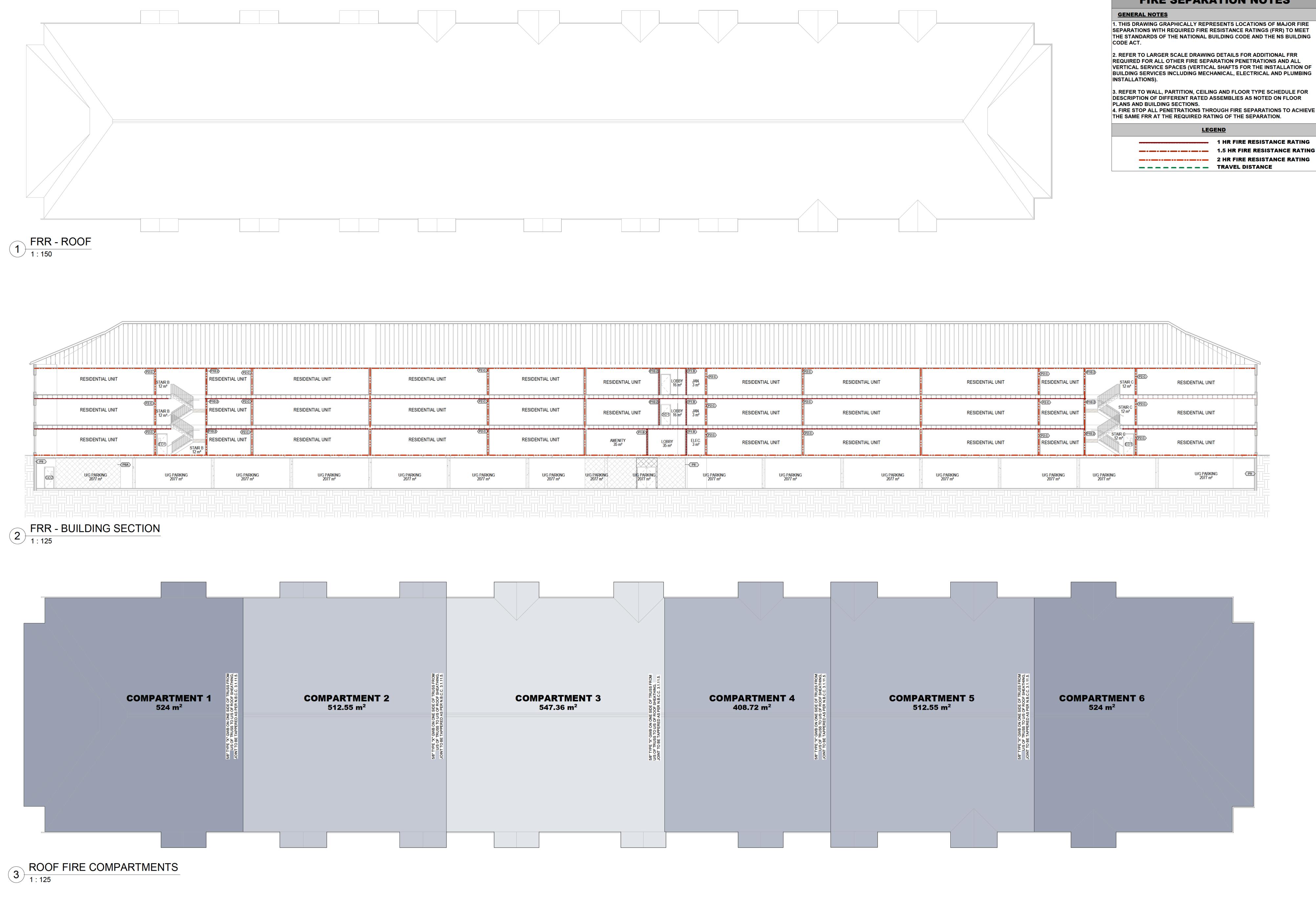
Project #:

Approved: M.R

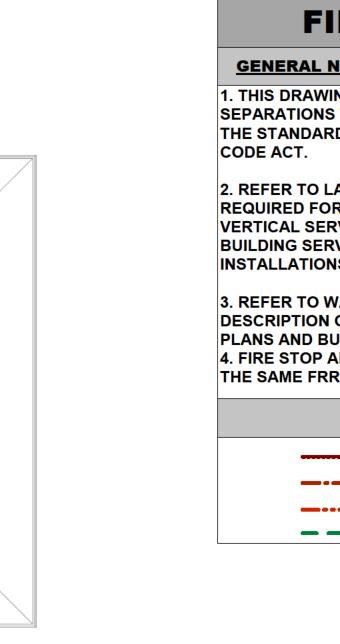
dwg #:

A004

S.S



I ENT 2 n ²	SIDE OF TRUSS FROM OF ROOF SHEATHING, S PER N.B.C.C. 3.1.11.5.	COMPARTMENT 3 547.36 m ²	SIDE OF TRUSS FROM OOF SHEATHING, PER N.B.C.C. 3.1.11.5.	COMPART 408.72
	5/8" TYPE "X" GWB ON ONE SIDE OF TRUSS FROM U/S OF TRUSS TO U/S OF ROOF SHEATHING, JOINT TO BE TAPPERED AS PER N.B.C.C. 3.1.11.5.		5/8" TYPE "X" GWB ON ONE SIDE OF TRUSS FROM U/S OF TRUSS TO U/S OF ROOF SHEATHING, JOINT TO BE TAPPERED AS PER N.B.C.C. 3.1.11.5.	



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VERTICAL SERVICE SPACES (VERTICAL SHAFTS FOR THE INSTALLATION OF BUILDING SERVICES INCLUDING MECHANICAL, ELECTRICAL AND PLUMBING

3. REFER TO WALL, PARTITION, CEILING AND FLOOR TYPE SCHEDULE FOR 4. FIRE STOP ALL PENETRATIONS THROUGH FIRE SEPARATIONS TO ACHIEVE

- **1 HR FIRE RESISTANCE RATING**

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CLIENT:



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Suit 5 - 1350 Bedford HWY, Bedford, NS B34 1E1 Tel: +1 (902) 402-1323 Email: <u>mranjbar@parscoeng.com</u> Web: <u>www.parscoeng.com</u>

SEAL



REVISIONS

Date Description 12/12/23 1 ISSUED FOR PERMIT ONLY

PROJECT:

Drawn by:

Project #:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS. TITLE:

FIRE SEPARATION PLANS & COMPARTMENTS

Checked: S.S Approved: MAY 07/23

M.R

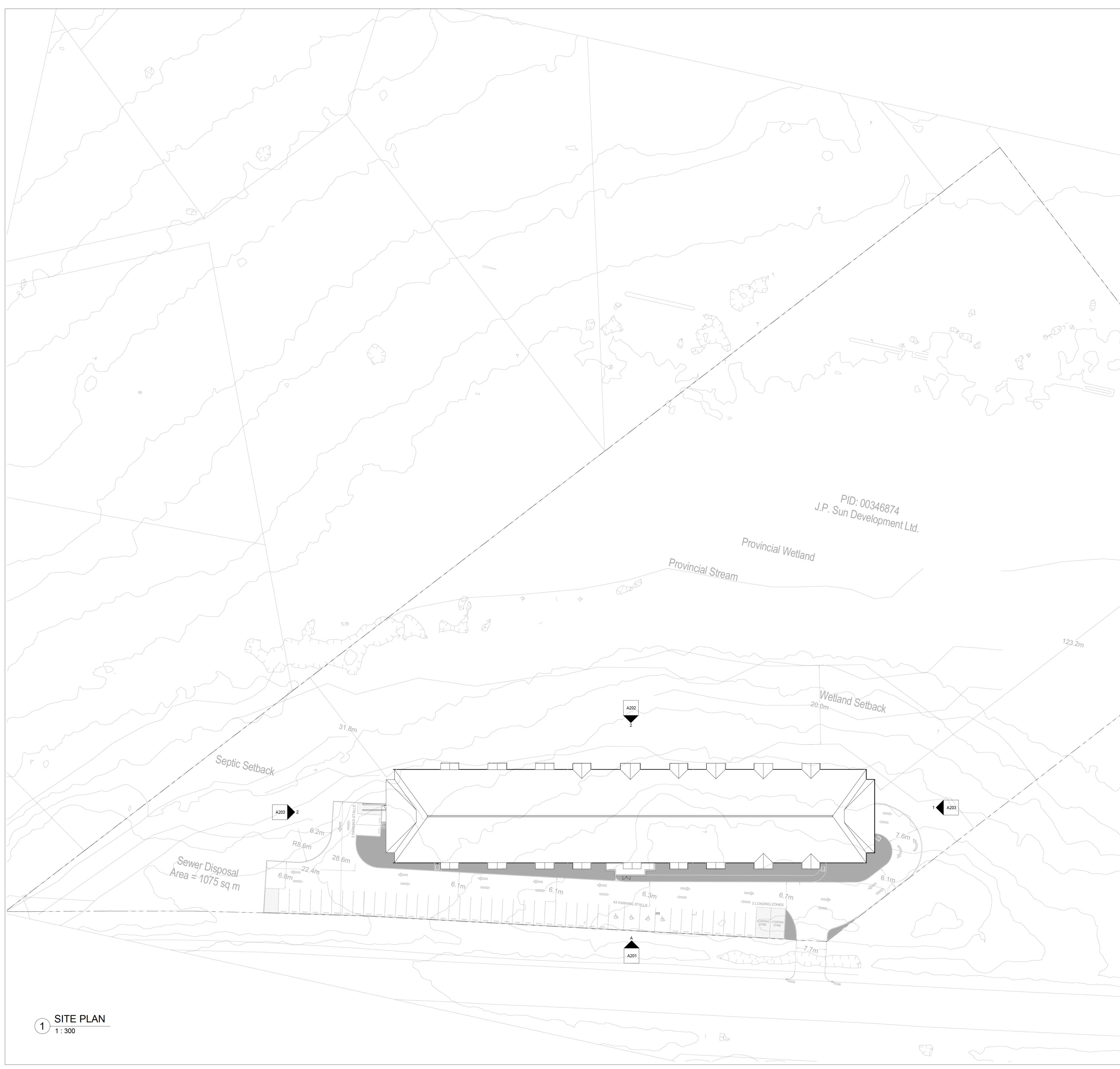
dwg #:

A005

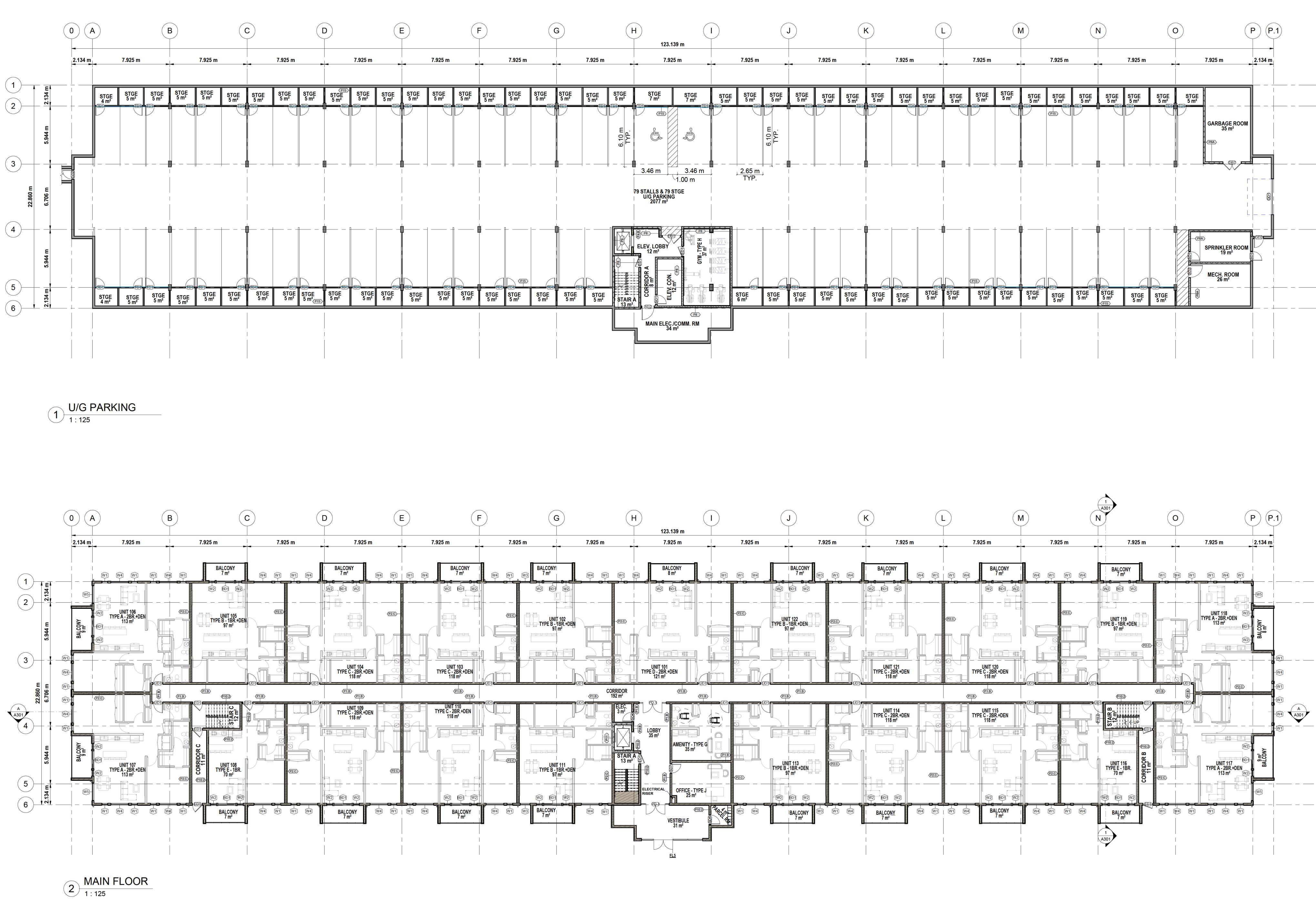
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AS SHOWN

M.B







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REVISIONS

No.	Description	Date				
1	ISSUED FOR REVIEW ONLY	09/22/23				
2	RE-ISSUED FOR REVIEW ONLY	10/13/23				
3	RE-ISSUED FOR REVIEW ONLY	10/23/23				
4	ISSUED FOR PERMIT ONLY	12/12/23				

PROJECT:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS.

TITLE:

Project #:

U/G PARKING & MAIN FLOOR PLAN

Drawn by: Checked: M.B

MAY 07/23

Approved:

M.R

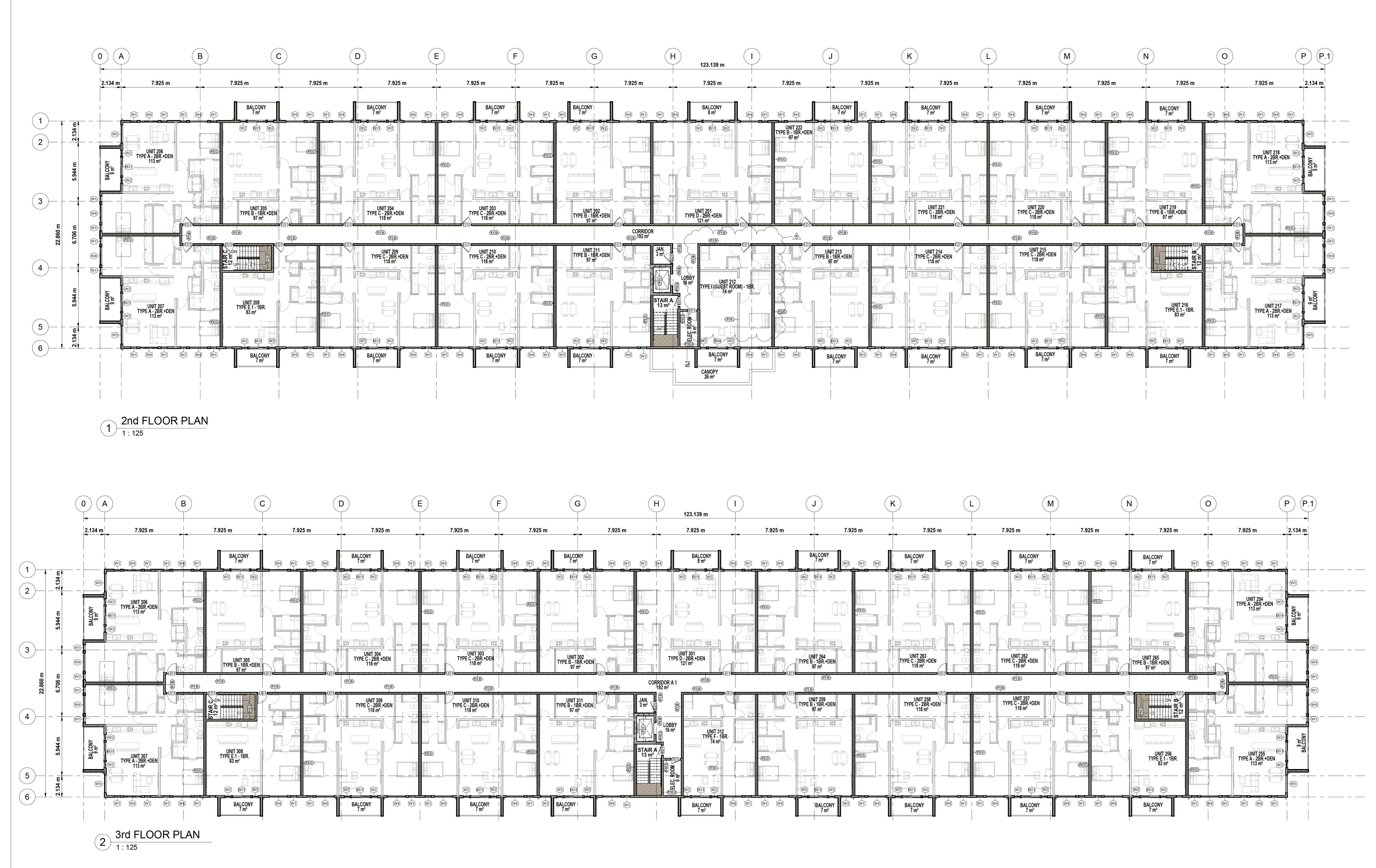
S.S

A102

dwg #:

230108

AS SHOWN



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REVISIONS

No.	Description	Date
1	ISSUED FOR REVIEW ONLY	09/22/23
2	RE-ISSUED FOR REVIEW ONLY	10/13/23
3	RE-ISSUED FOR REVIEW ONLY	10/23/23
4	ISSUED FOR PERMIT ONLY	12/12/23
5	RE-ISSUED FOR PERMIT ONLY	02/07/24

PROJECT

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS.

TITLE:

2nd & 3rd FLOOR PLAN

Drawn by: M.B

Date

Project #:

Appr

Approved: M.R

S.S

A103

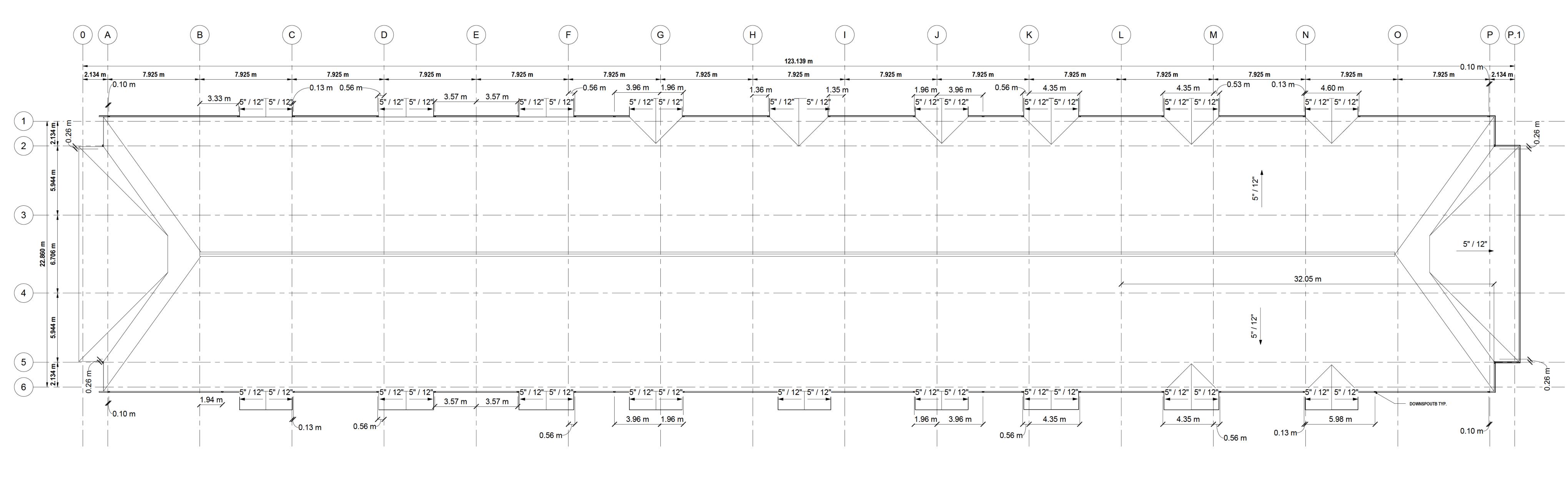
Checked:

dwg #:

230108

MAY 07/23

AS SHOWN



1 ROOF PLAN 1 : 125

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SEAL



REVISIONS

 No.
 Description
 Date

 1
 ISSUED FOR PERMIT ONLY
 12/12/23

PROJECT:

Project #:

APARTMENT BUILDING

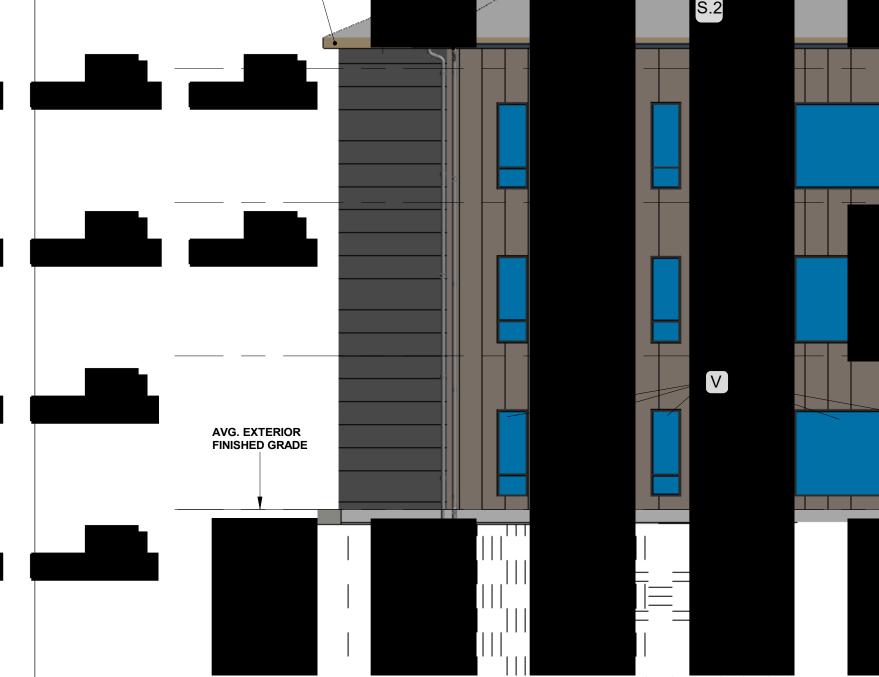
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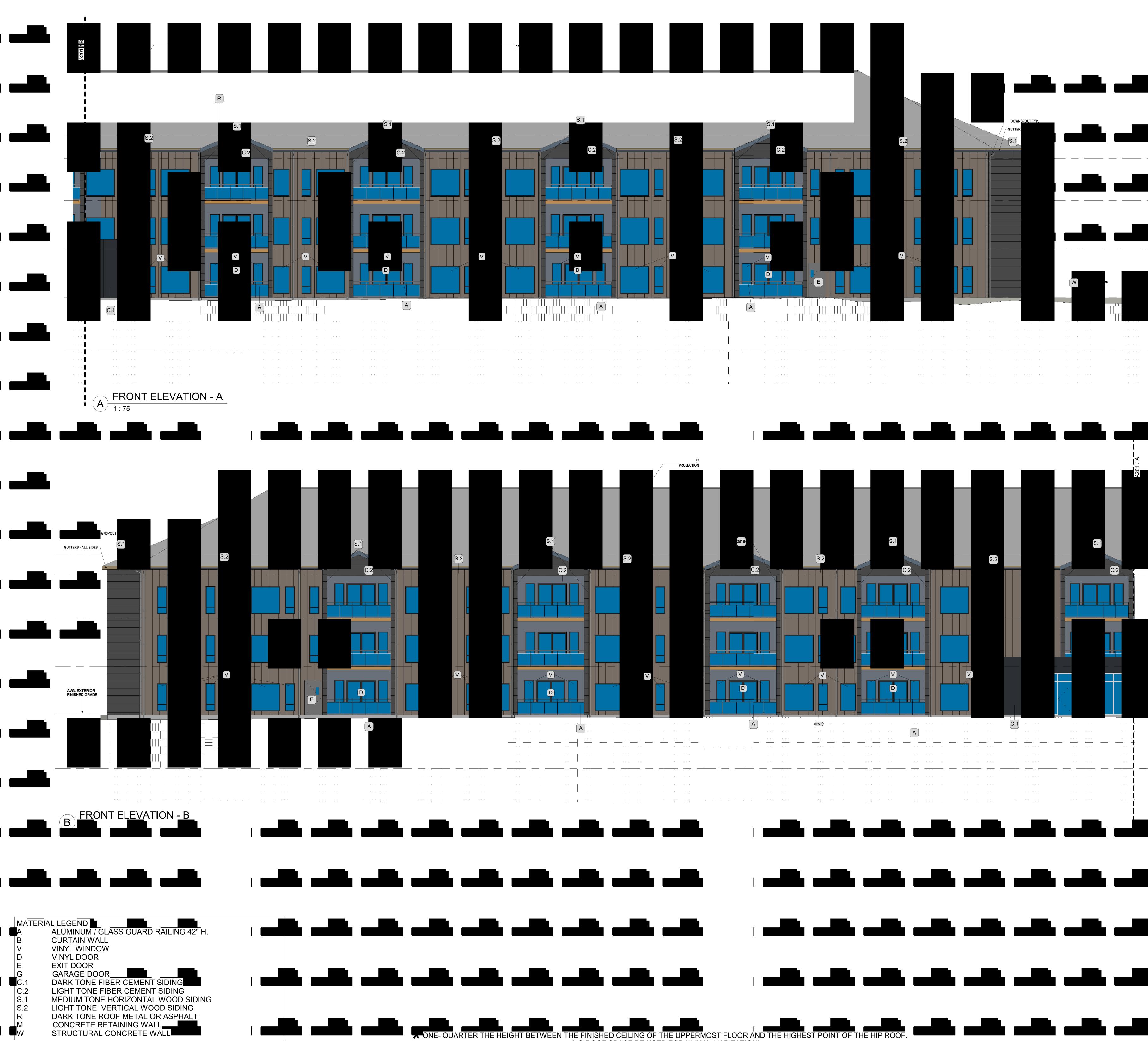
ROOF PLAN

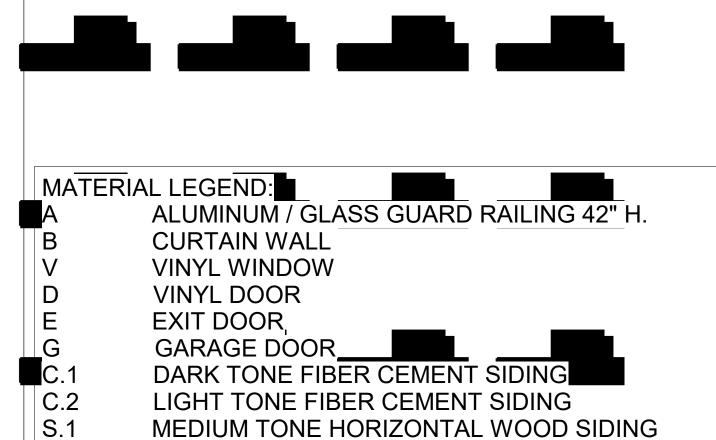
Drawn by: M.B Date: MAY 07/23 Checked: S.S Approved: M.R Scale: AS SHOWN dwg #:

230108

		S.1 C.	
FRONT ELEVATION - A			





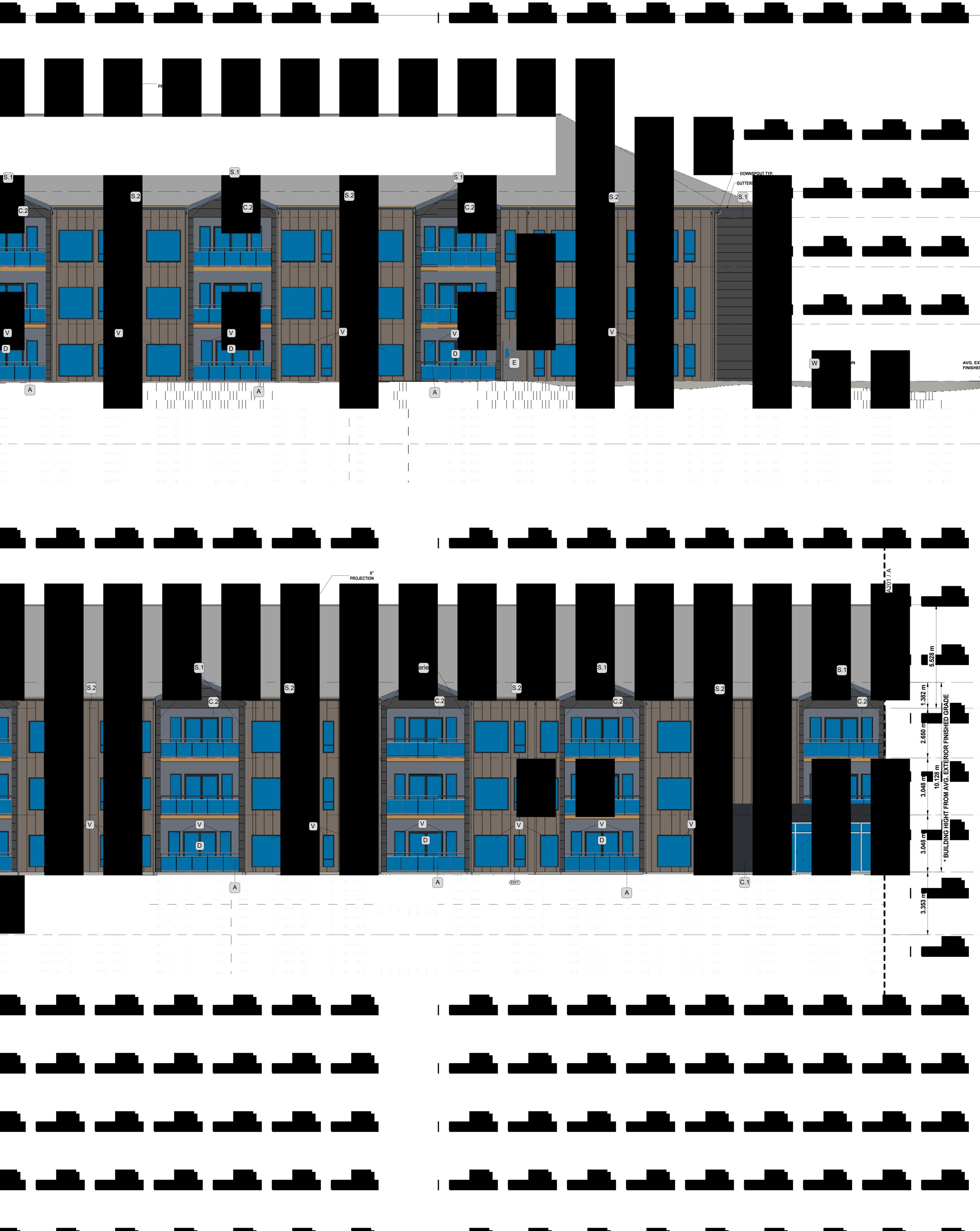


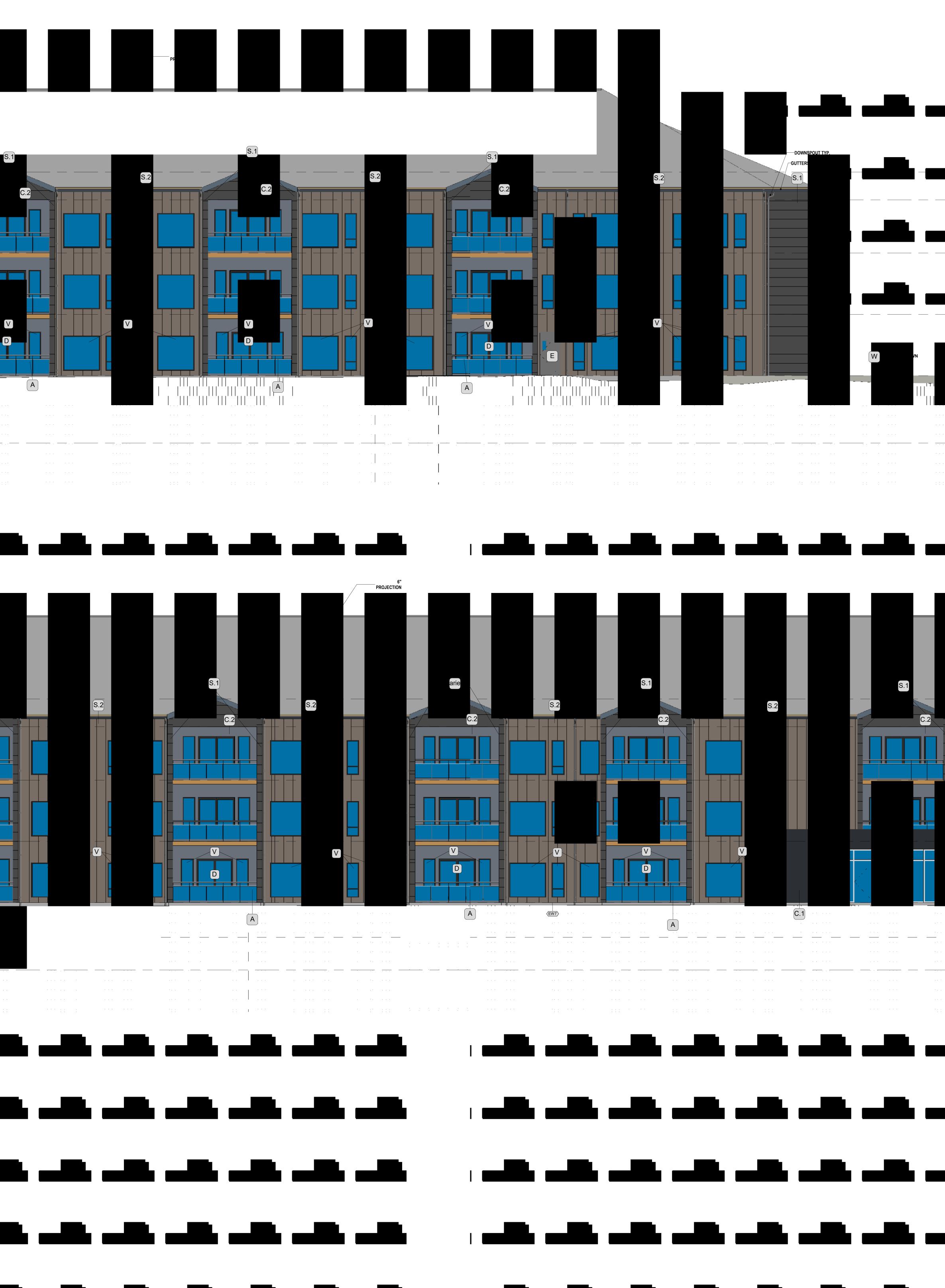
ROOF METAL OR ASPHALT

S.2

R

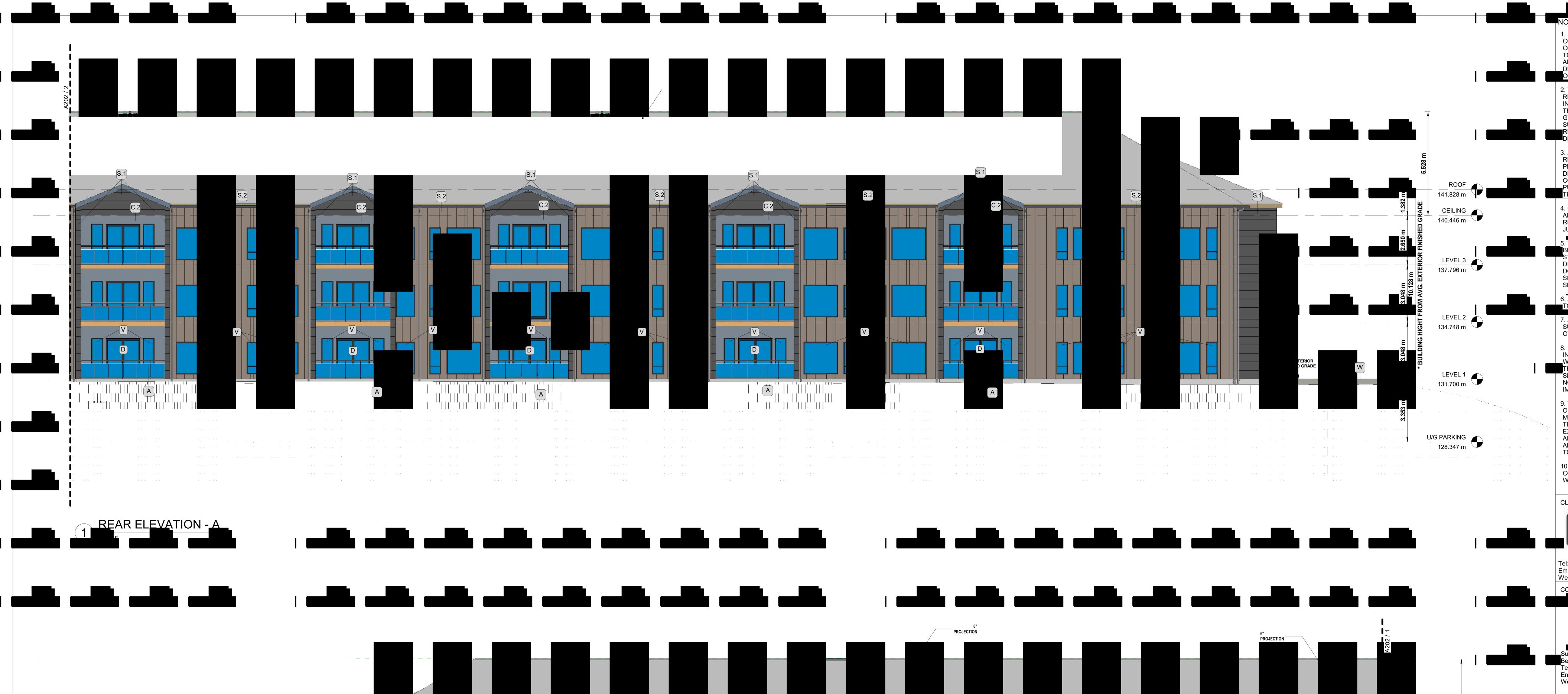
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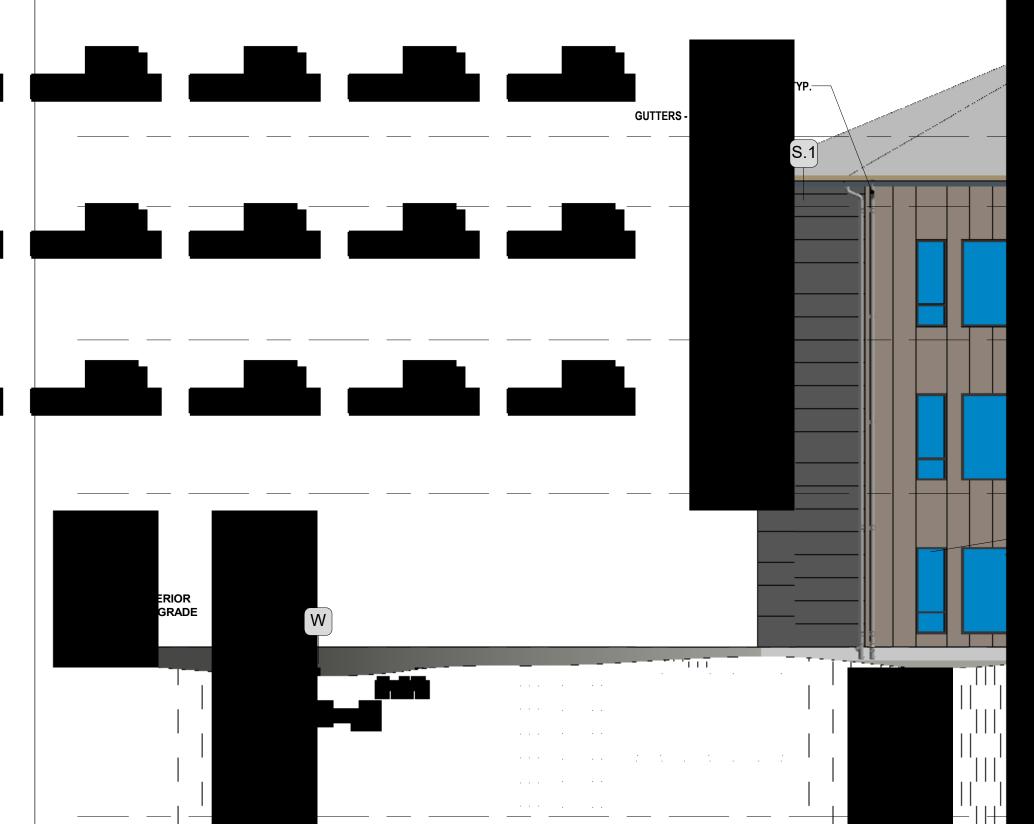


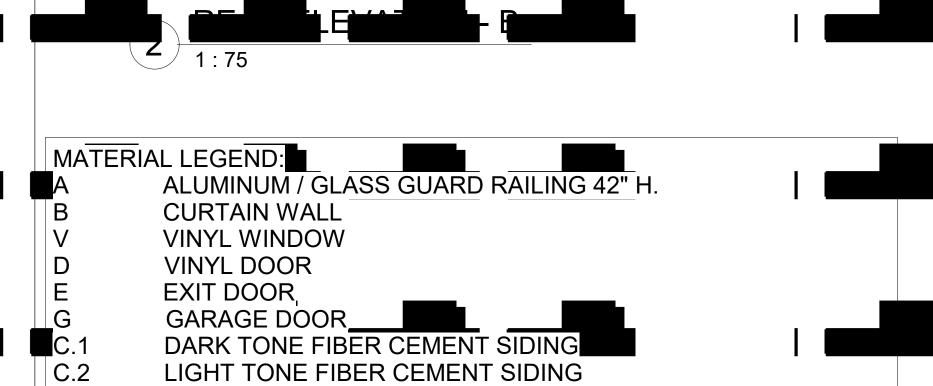


(NO ROOF SPACE BE USED FOR HUMAN HABITATION)

		NOTE:
		1. DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS REQUIRED TO PREFORM THE WORK AND REPORT ANY DISCREPANCIES WITH THE DRAWINGS TO THE ARCHITECT(S) BEFORE COMMENCING WORK.
		2. THE ARCHITECT(S) BEARS NO RESPONSIBILITY FOR THE INTERPRETATION OF THE DRAWINGS BY
		THE CONTRACTOR. UPON APPLICATION, GRAPHIC CLARIFICATION OR SUPPLEMENTARY INFORMATION REGARDING THE INTENT OF THE
	E 825 25 25 26 ROOF	DRAWINGS WILL BE PROVIDED. 3. ALL PRINTS AND SPECIFICATIONS RELATED TO THIS PROJECT ARE THE PROPERTY OF PARSCO ARCHITECTS. DESIGN CAN NOT BE REPORDUCED, COPIED, OR USED FOR CONSTRICTION PURPOSES WITHOUT THE APPROVAL OF
	E E E E E E E E E E E E E E E E E E E	THE ARCHITECT IN WRITING. 4. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODE, BY-LAWS, AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
	48 m 48 m 70.128 m	5. THE ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL DRAWINGS. IN CASES OF DIFFERENCES BETWEEN CONSULTANTS' DOCUMENTS WITH RESPECT TO QUALITY, SIZES OR SCOPE OF WORK, THE GREATER SHALL APPLY.
		6. ALL GUARDS & HANDRAILS TO CONFORM TO NATION BUILDING CODE. 7. ALL DIMENSIONS SHOWN TO FINISHED SURFACES AND ELEMENTS UNLESS OTHERWISE NOTED.
	S. EXTERIOR ISHED GRADE	8. IF AN ITEM IS NECESSARY FOR THE INSTALLATION AND PROPER WORKMANSHIP OF MATERIALS UNDER THIS CONTRACT AND IS NOT NOTED OR SPECIFIED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE IMPLEMENTATION.
	U/G PARKING 128.347 m	9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL ON SITE DIMENSIONS & MEASUREMENTS AND SHALL BECOME THOROUGHLY FAMILIAR WITH THE EXISTING SITE CONDITIONS WHICH AFFECT THE WORK OF THIS PROJECT. NO ALLOWANCE WILL BE MADE FOR FAILURE
· · · · · · · · · · · · · · · · · · ·		TO NOTE SITE CONDITIONS. 10. ALL AREAS TO BE LEFT IN CLEAN CONDITION AT THE END OF EACH DAYS WORK.
: :: :::		CLIENT:
		J.P.SUN DEVELOPMENTS LTD
		Tel: +1 (902) 488-3737 Email: <u>JPSUN@JPSUNDEVELOPMENTS.com</u> Web: <u>www.JPSUNDEVELOPMENTS.com</u> CONSULTANT:
		PARSCO
5.528 m		Optimized Engineering Quality Construction Suit 5 - 1350 Bedford HWY, Bedford, NS B34 1E1
	ROOF 141.828 m	Tel: +1 (902) 402-1323 Email: <u>mranjbar@parscoeng.com</u> Web: <u>www.parscoeng.com</u>
2.650 mm 1.382 m FINISHED GRADE	CEILING 140.446 m	SEAL:
	<u>LEVEL 3</u> 137.796 m	DATE PROFESSIONAL PLAN
3.048 m 10.128 m FROM AVG. EXT		THOUSE OF NOVA SCOT
3.048 m BUILDING HIGHT	<u>LEVEL 2</u> 134.748 m	
3.0 * BUIL	<u>LEVEL 1</u> 131.700 m	REVISIONS No. Description Date 1 ISSUED FOR PERMITIONLY 12/12/23
3.353 m		
	U/G PARKING 128.347 m	
		PROJECT: APARTMENT BUILDING
		LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS. TITLE: FRONT ELEVATION
		Drawn by:
		M.B S.S Date: Approved: MAY 07/23 M.R
		Scale: AS SHOWN dwg #:
		230108 A201



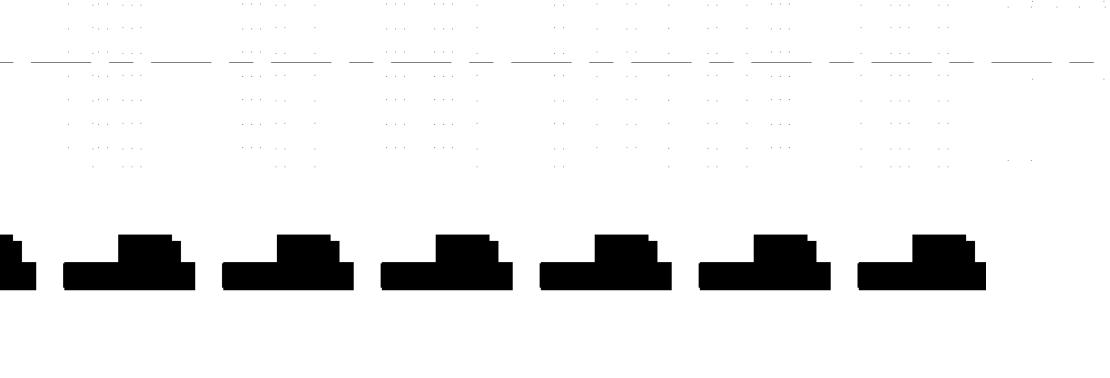


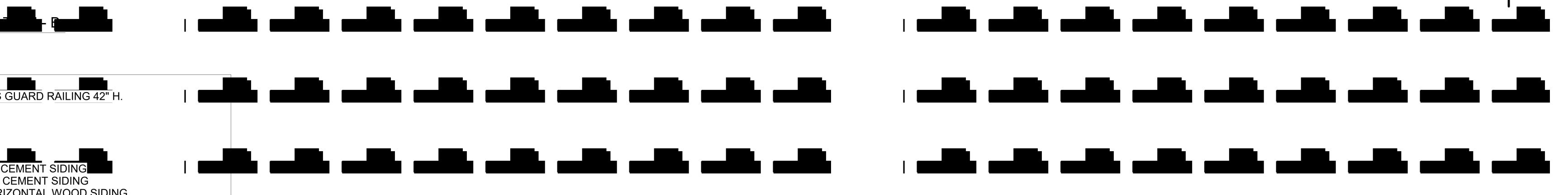


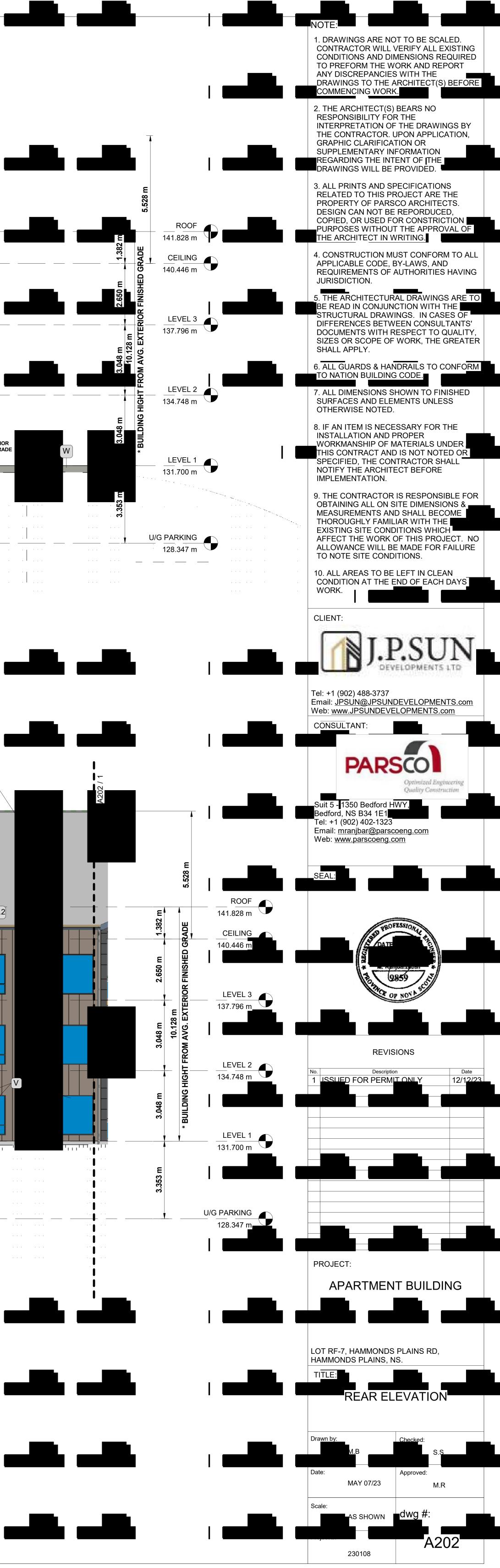
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M

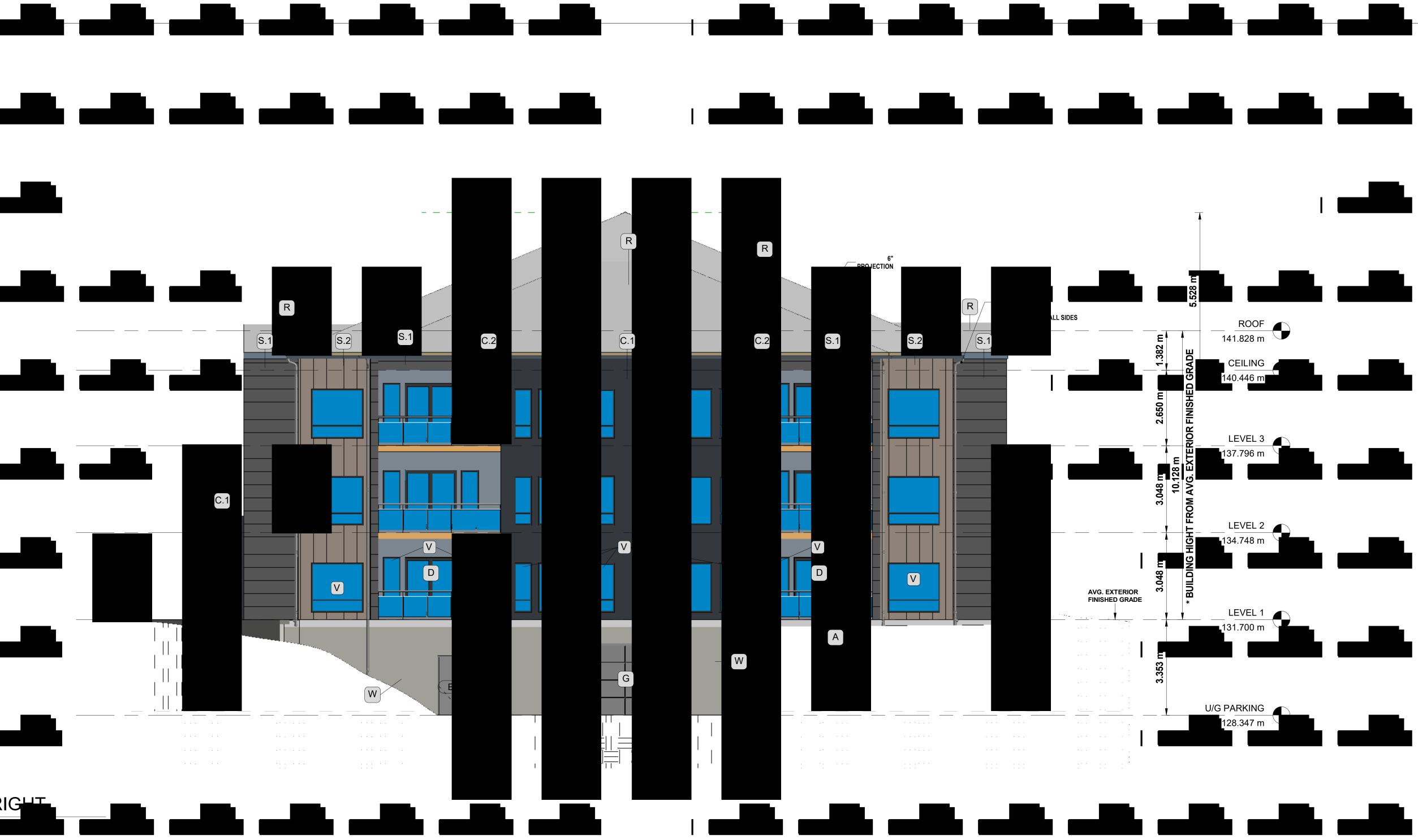






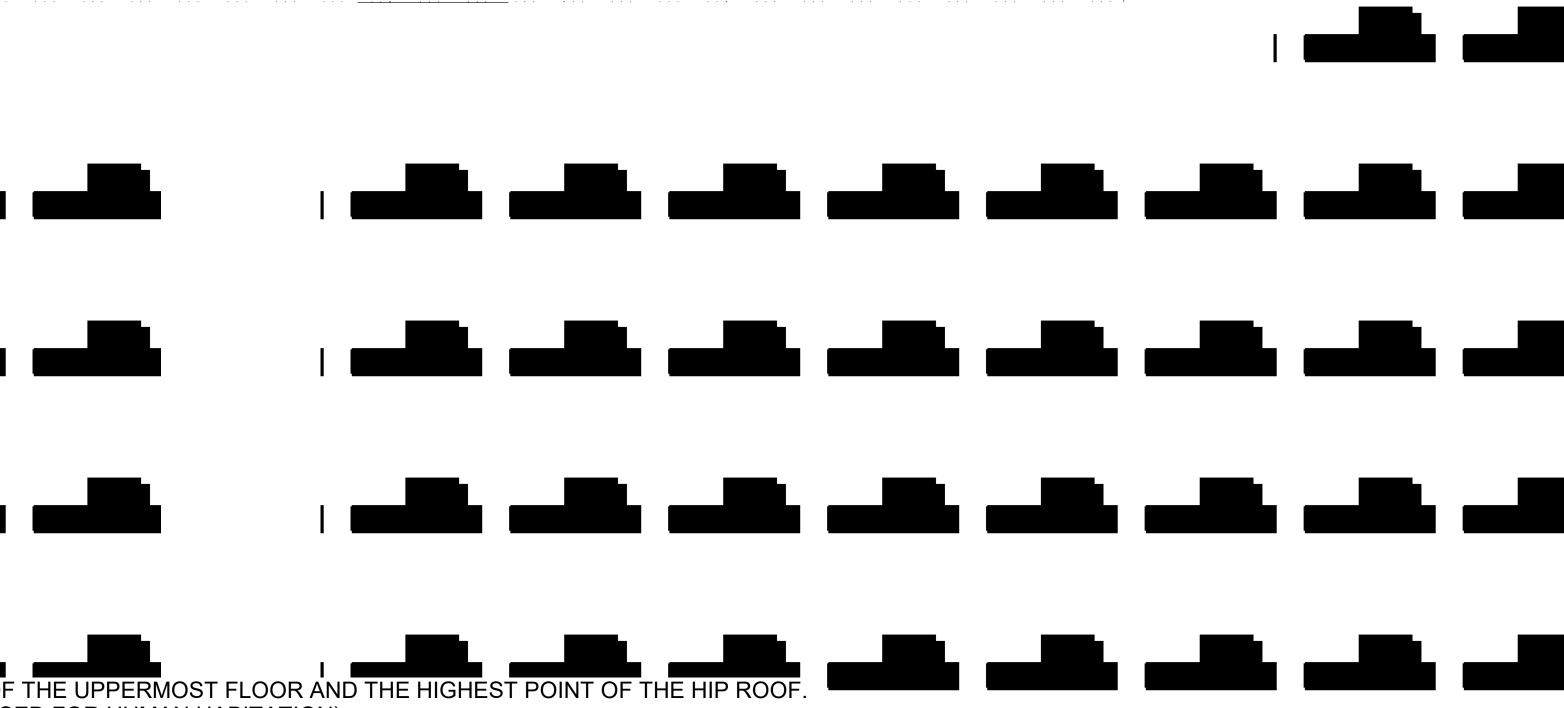


A ALUMINUM / GLASS GUARD RAILING 42" H. B CURTAIN WALL V VINYL WINDOW D VINYL DOOR E EXIT DOOR	
GGARAGE DOORImage: Constraint of the second s	
M CONCRETE RETAINING WALL	



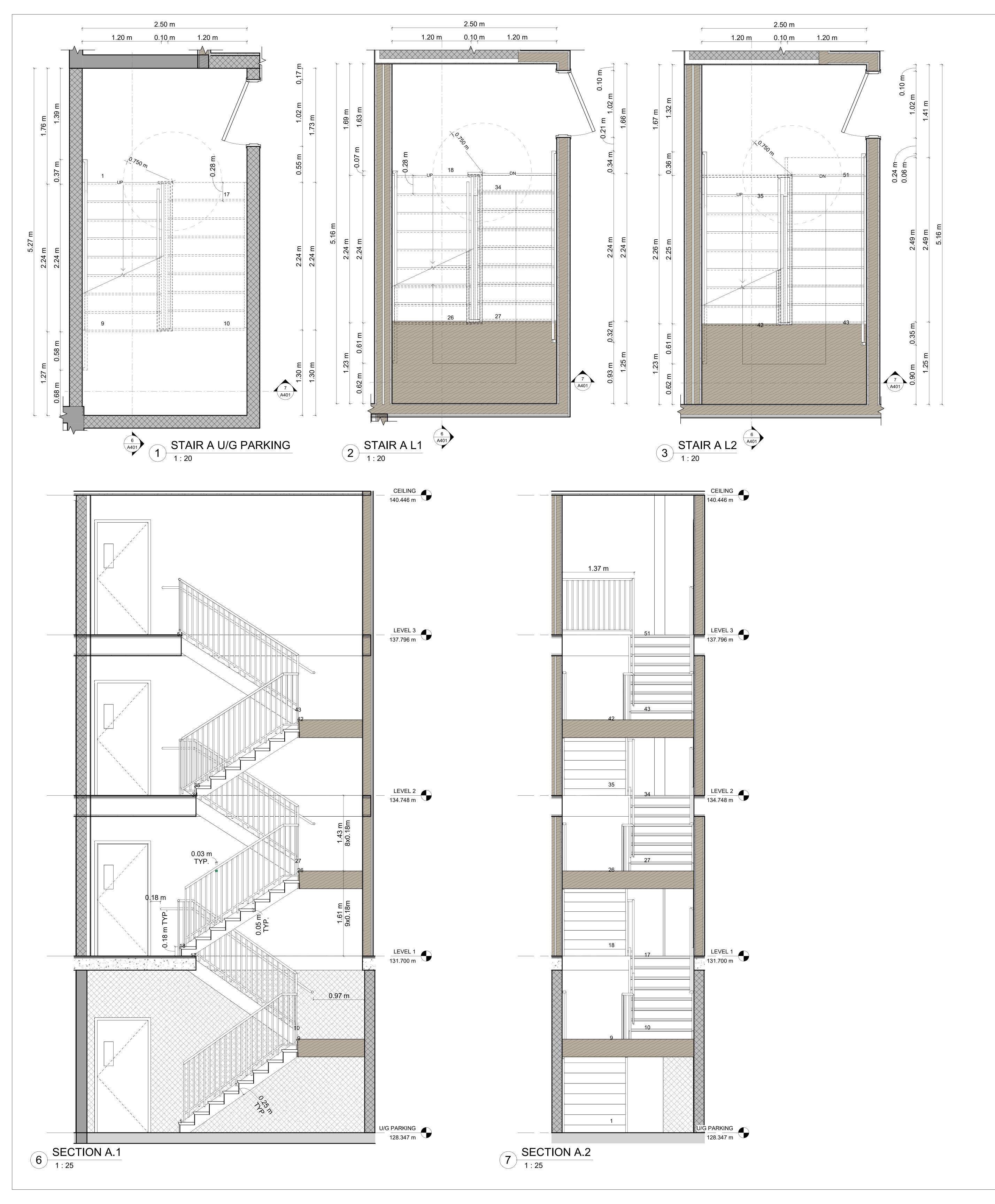


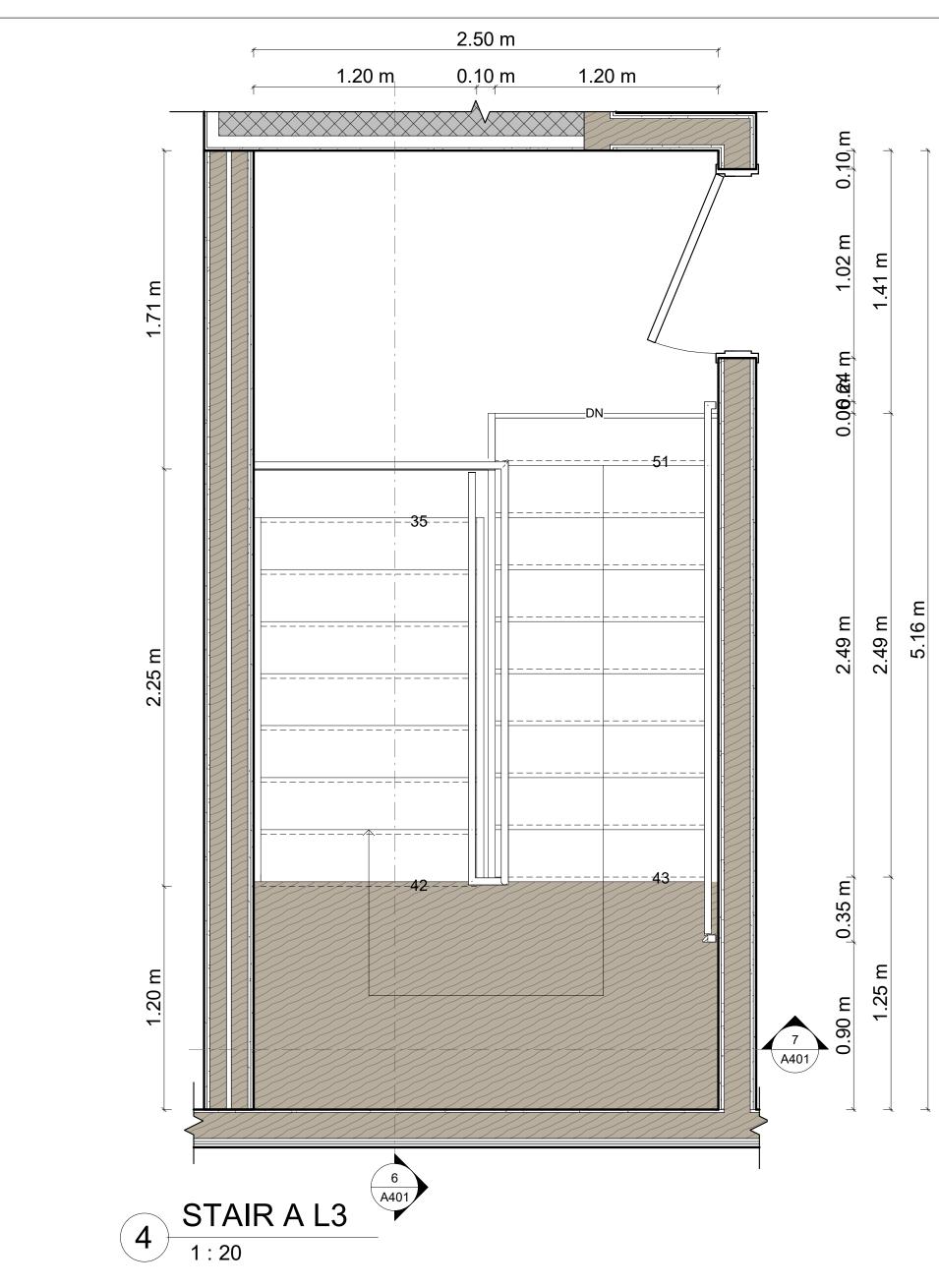
(NO ROOF SPACE BE USED FOR HUMAN HABITATION)

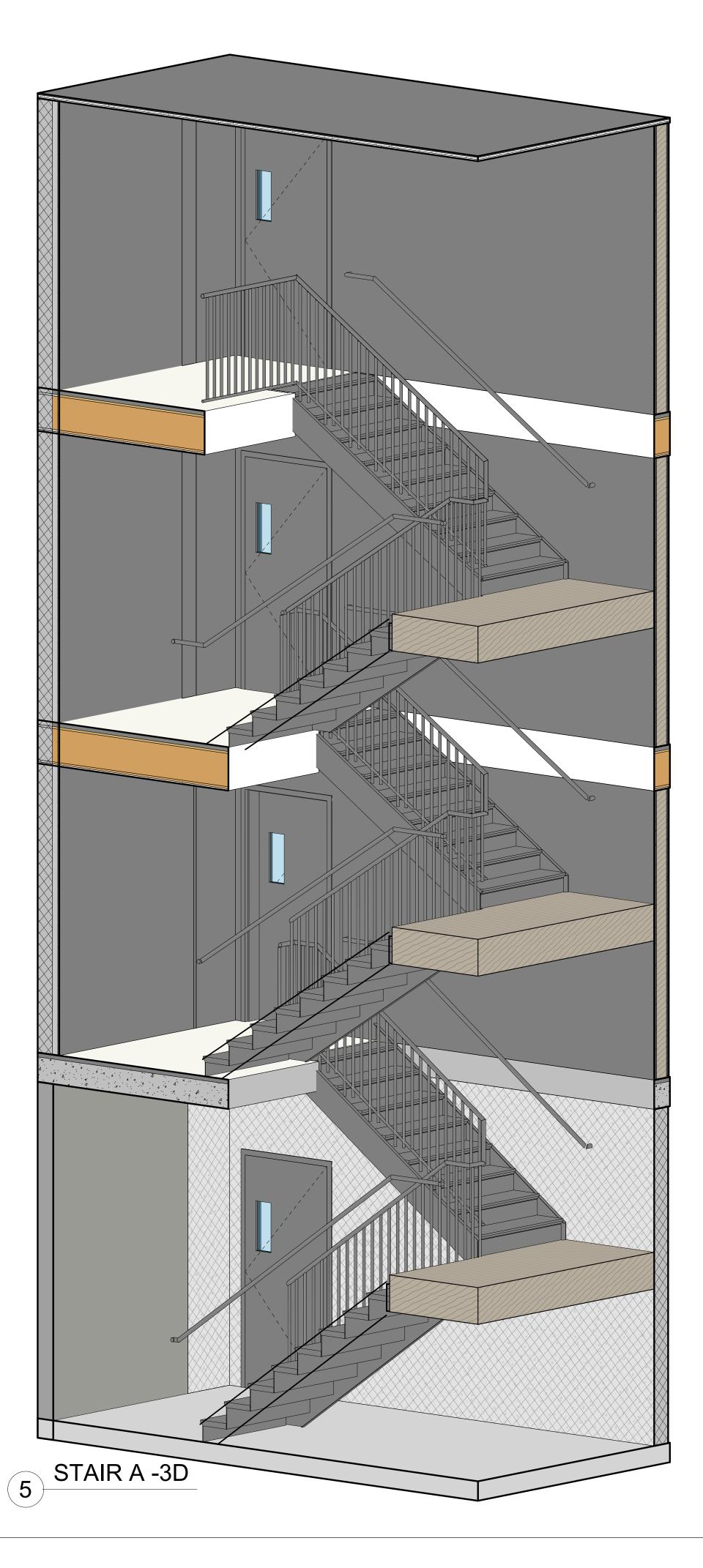


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	INSTALLATION AND PROPER WORKMANSHIP OF MATERIALS UNDER THIS CONTRACT AND IS NOT NOTED OR SPECIFIED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE
	IMPLEMENTATION. 9. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL ON SITE DIMENSIONS &
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	TO NOTE SITE CONDITIONS. 10. ALL AREAS TO BE LEFT IN CLEAN CONDITION AT THE END OF EACH DAYS
	CLIENT:
	J.P.SUN
	Tel: +1 (902) 488-3737 Email: JPSUN@JPSUNDEVELOPMENTS.com
	Web: www.JPSUNDEVELOPMENTS.com CONSULTANT:
	PARSCO Optimized Engineering
	Suit 5 - 1350 Bedford HWY, Bedford, NS B34 1E1 Tel: +1 (902) 402-1323
	Email: <u>mranjbar@parscoeng.com</u> Web: <u>www.parscoeng.com</u>
	SEAL:
	SED PROFESSIONAL
	DATE PROFESSION FR
	ANT OF NOVA PEOL
	REVISIONS
	No. Description Date 1 ISSUED FOR PERMITIONLY 12/12/23
	PROJECT:
	LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS.
	TITLE: LEFT & RIGHT ELEVATION
	Drawn by: Checked:
	M.B S.S Date: Approved:
	MAY 07/23 M.R Scale: AS SHOWN dwg #:
	230108 A203









NOTE:

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CLIENT:



Tel: +1 (902) 488-3737 Email: <u>JPSUN@JPSUNDEVELOPMENTS.com</u> Web: <u>www.JPSUNDEVELOPMENTS.com</u> CONSULTANT:



Suit 5 - 1350 Bedford HWY, Bedford, NS B34 1E1 Tel: +1 (902) 402-1323 Email: <u>mranjbar@parscoeng.com</u> Web: <u>www.parscoeng.com</u>

SEAL



REVISIONS

No.	Description	Date
1	ISSUED FOR PERMIT ONLY	12/12/23
2	RE-ISSUED FOR PERMIT ONLY	02/07/24

PROJECT:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS. TITLE:

STAIR TYPE A

M.B

MAY 07/23

MF

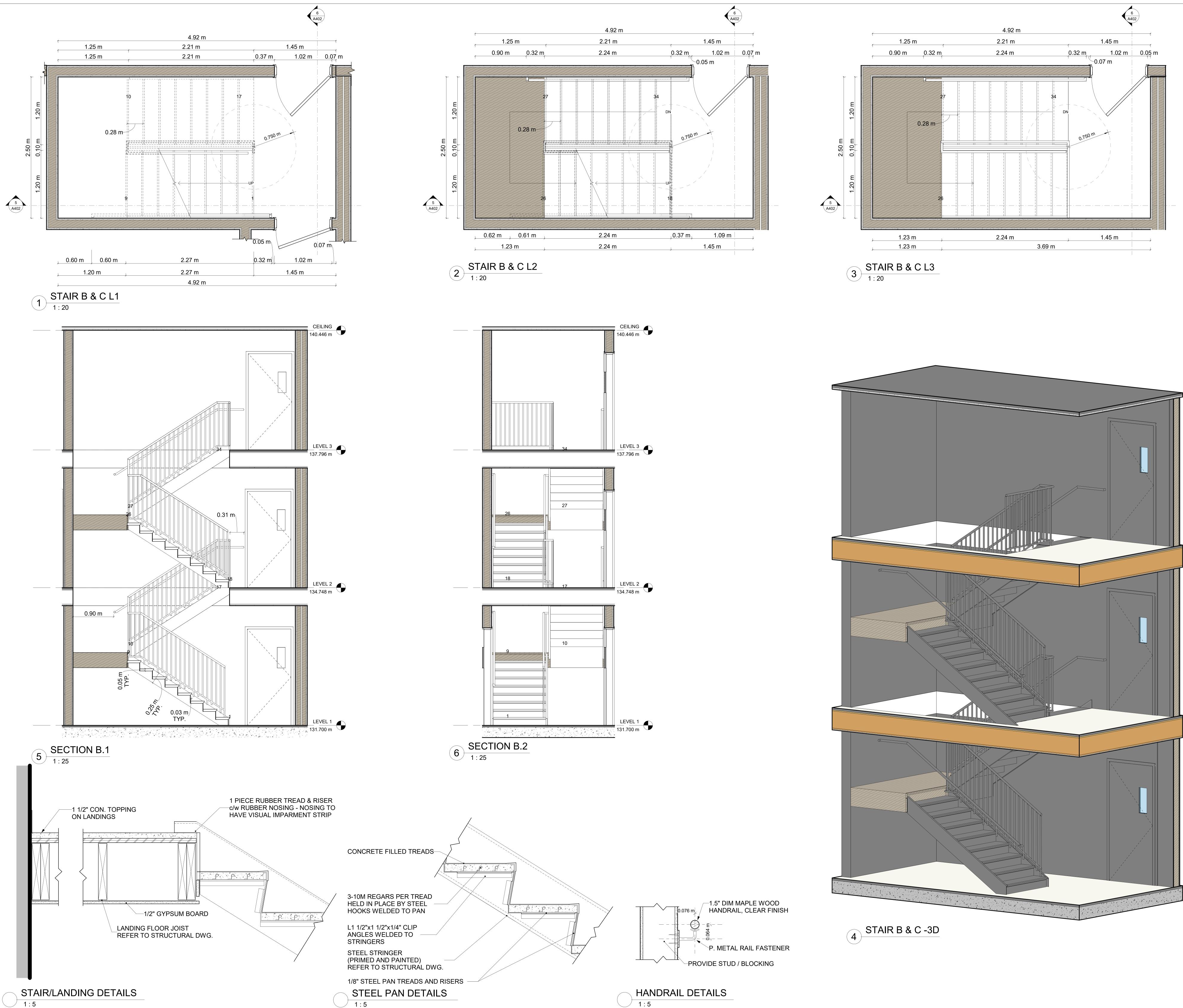
S.S

Checked:

dwg #:

230108

AS SHOWN



1:5

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CLIENT:



Tel: +1 (902) 488-3737 Email: <u>JPSUN@JPSUNDEVELOPMENTS.com</u> Web: <u>www.JPSUNDEVELOPMENTS.com</u> CONSULTANT:



Bedford, NS B34 1E1 Tel: +1 (902) 402-1323 Email: <u>mranjbar@parscoeng.com</u> Web: <u>www.parscoeng.com</u>

SEAL





lo.	Description	Date
1	ISSUED FOR PERMIT ONLY	12/12/23

PROJECT:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS.

TITLE: STAIR TYPE B & C

Drawn by:

Proiect #

M.B

MAY 07/23

Checked: Approved:

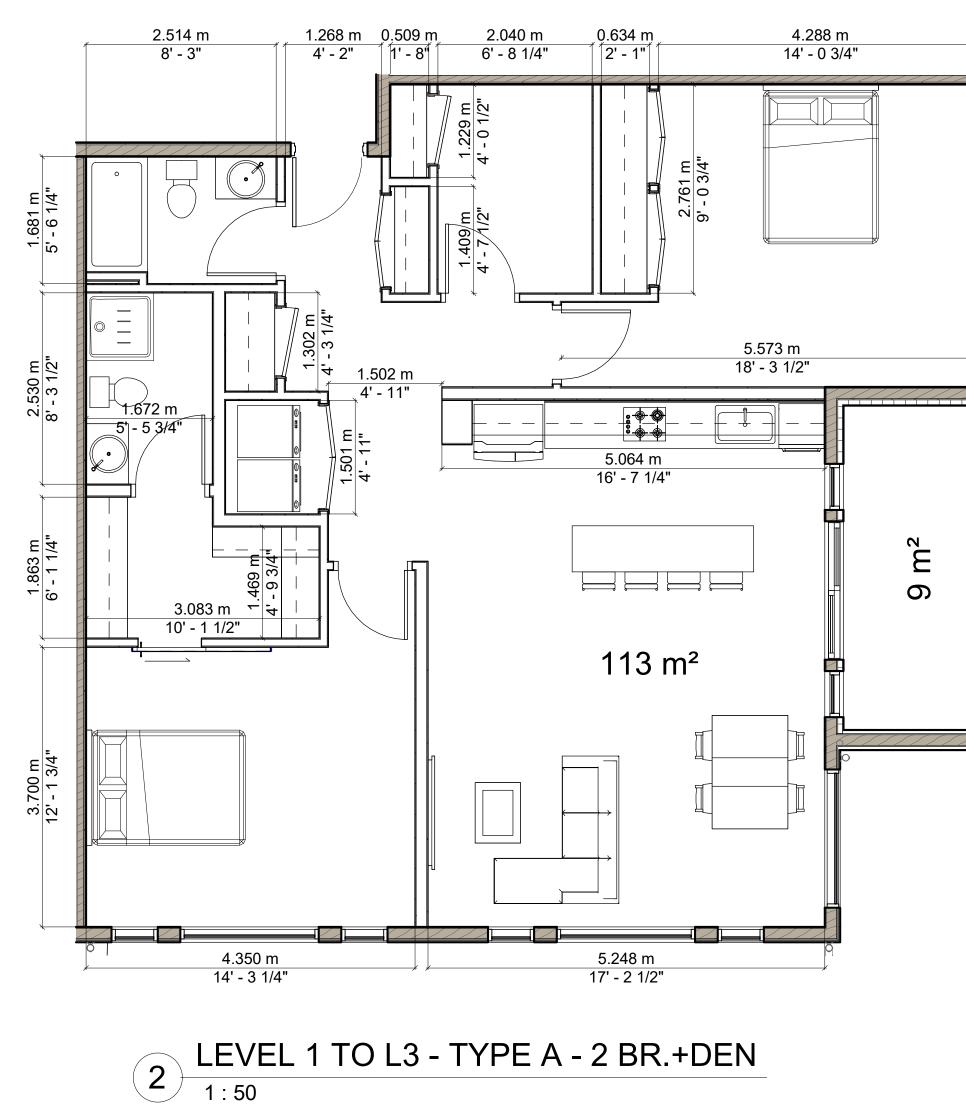
M.R

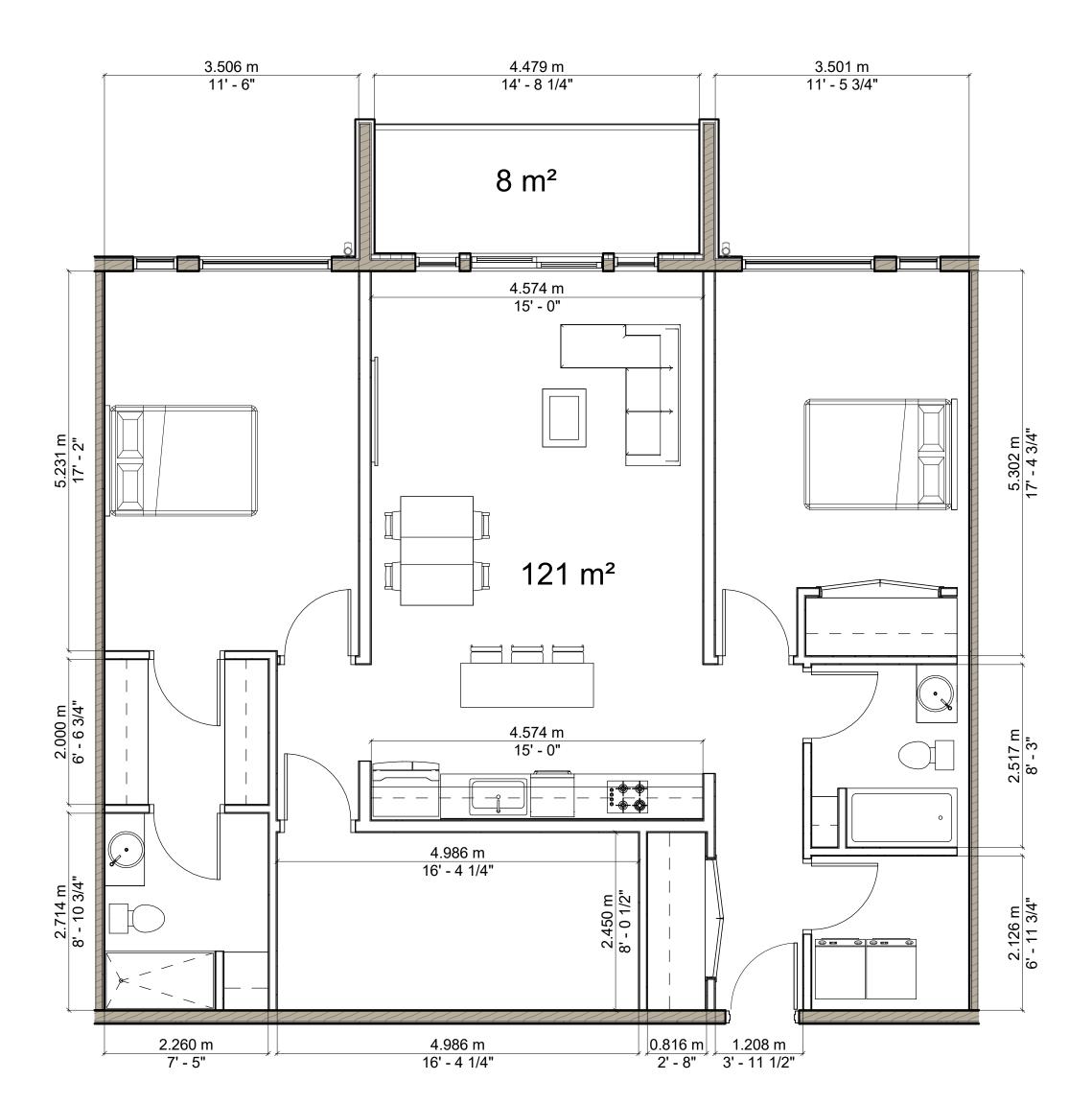
S.S

dwg #:

230108

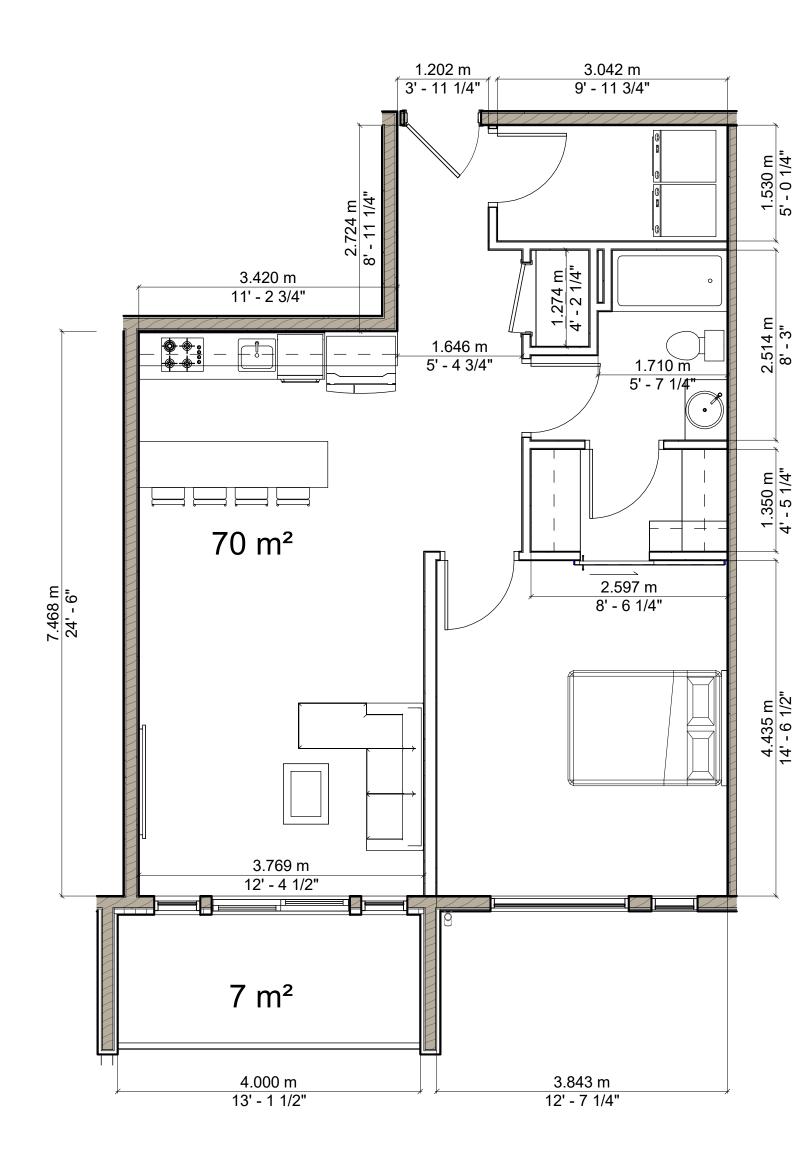
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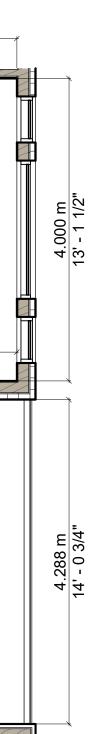


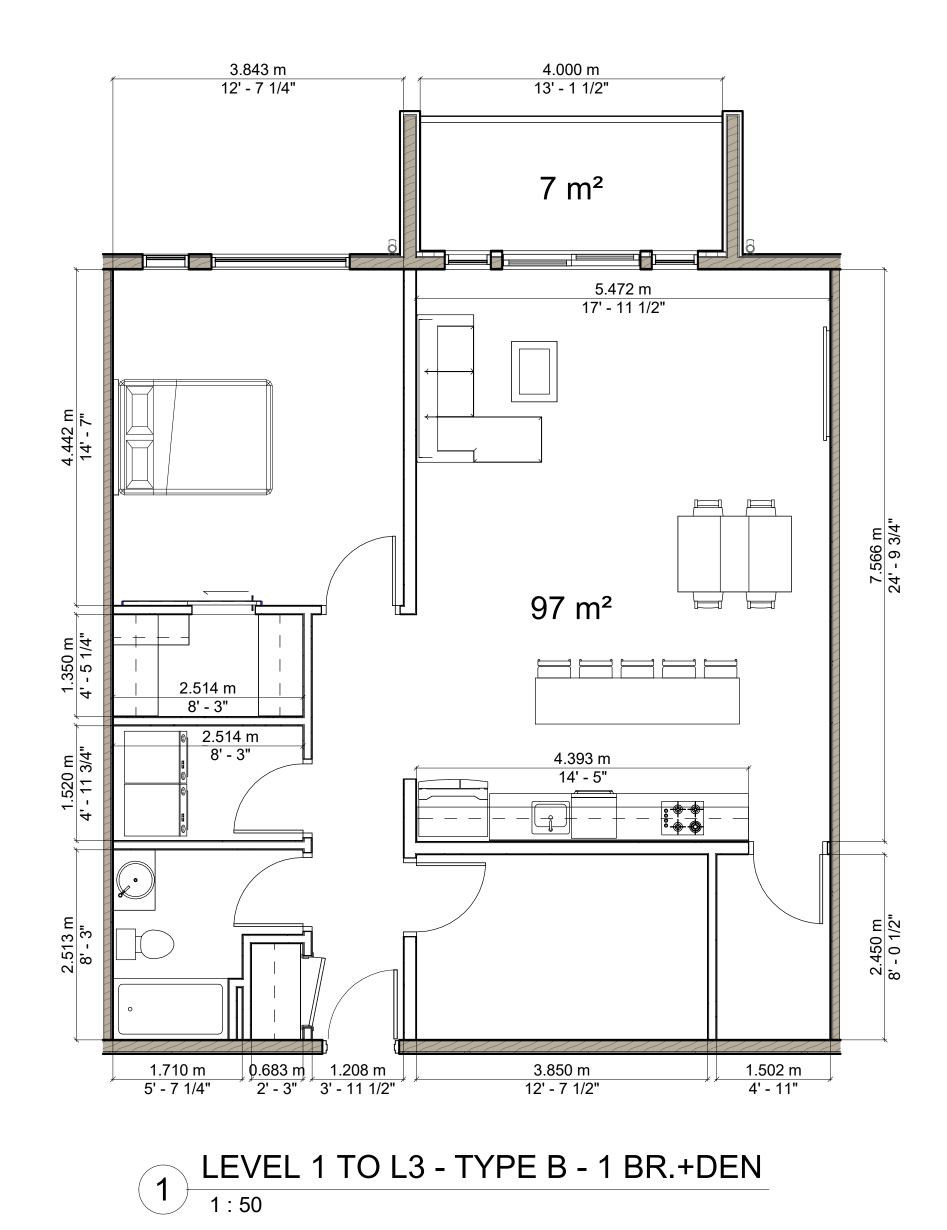


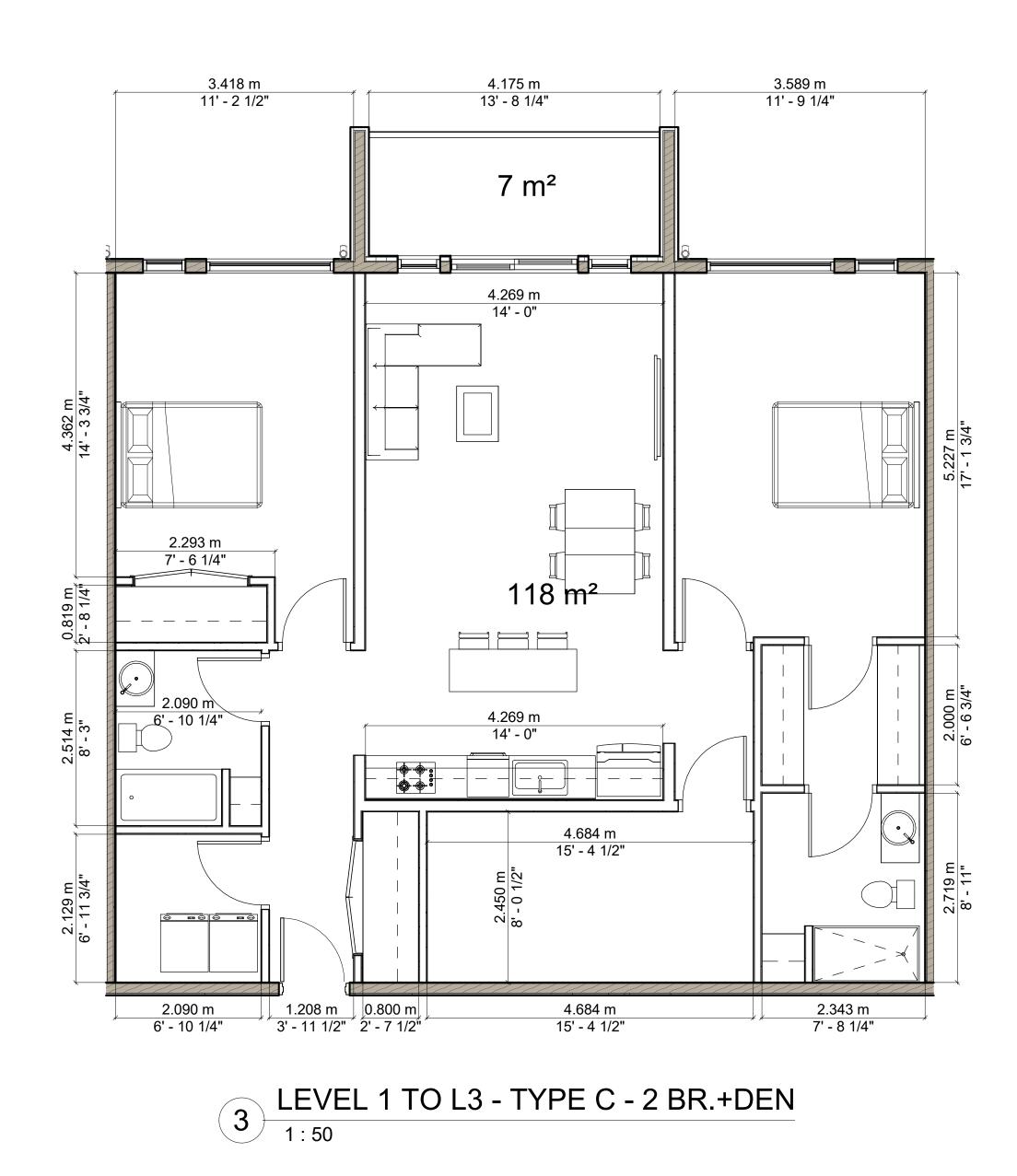
4 LEVEL 1 TO L3 - TYPE D - 2 BR.+DEN 1:50

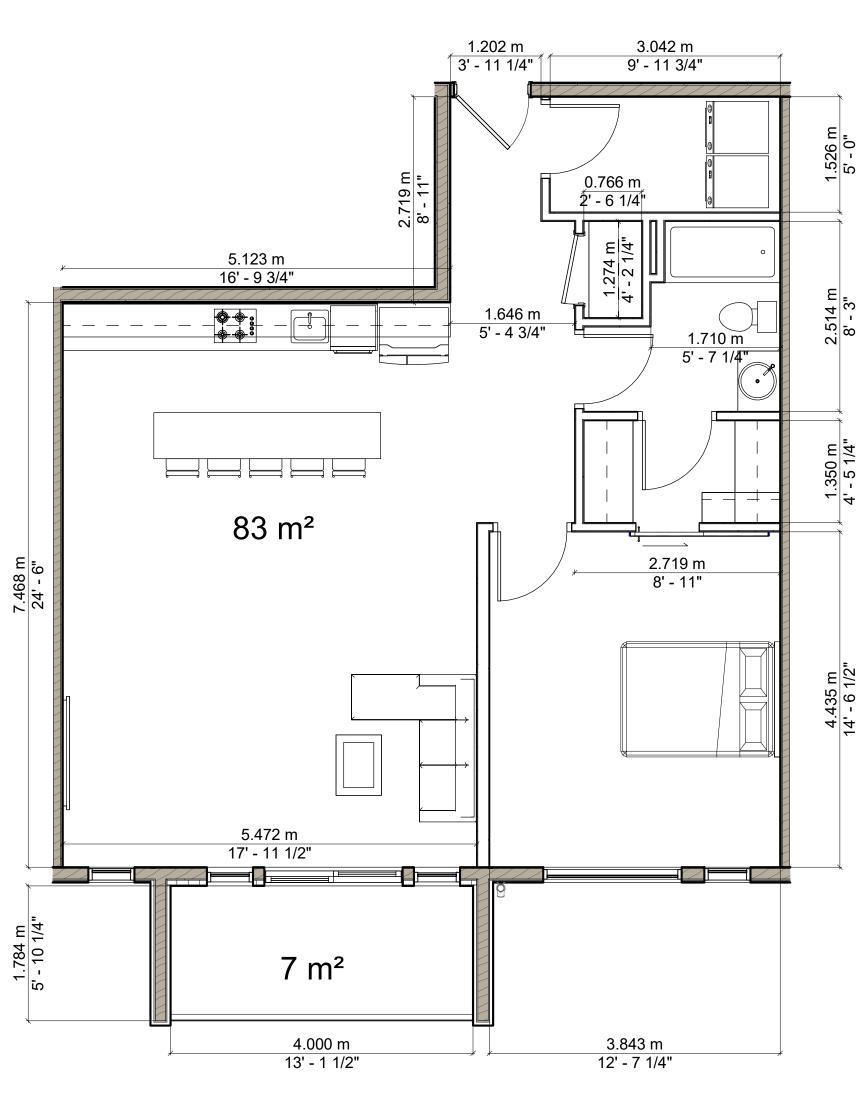












6 LEVEL 2 TO L3 - TYPE E.1- 1BR. 1:50

NOTE:

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CLIENT:



Tel: +1 (902) 488-3737 Email: <u>JPSUN@JPSUNDEVELOPMENTS.com</u> Web: <u>www.JPSUNDEVELOPMENTS.com</u> CONSULTANT:



Suit 5 - 1350 Bedford HWY, Bedford, NS B34 1E1 Tel: +1 (902) 402-1323 Email: <u>mranjbar@parscoeng.com</u> Web: <u>www.parscoeng.com</u>

SEAL



REVISIONS

No.	Description	Date
1	ISSUED FOR REVIEW ONLY	10/13/23
2	RE-ISSUED FOR REVIEW ONLY	10/23/23
3	ISSUED FOR PERMIT ONLY	12/12/23

PROJECT:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS. TITLE:

UNIT TYPE A,B,C,D,E & E.1

Drawn by

M.B

Proiect #

Approved:

Checked:

M.R

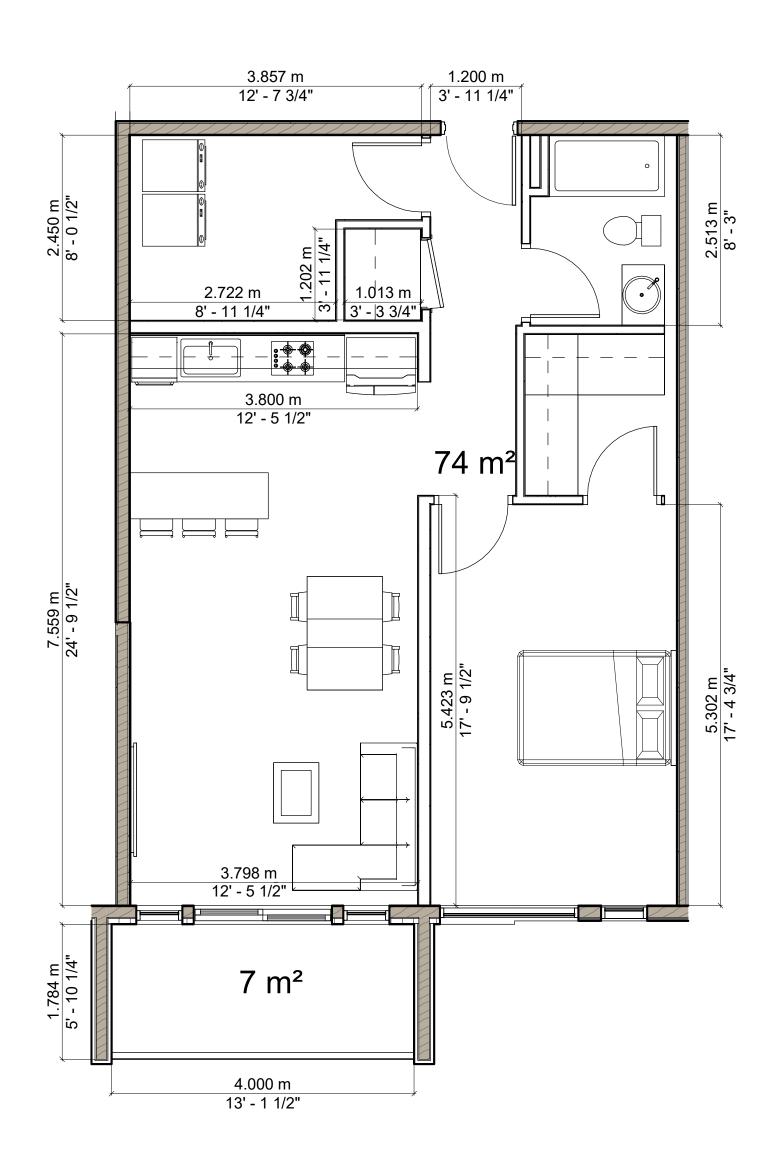
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dwg #:

230108

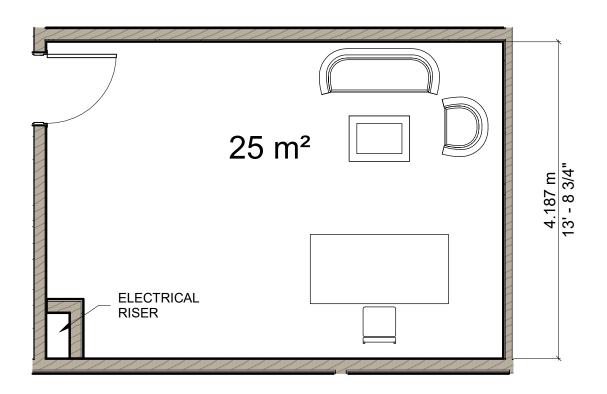
MAY 07/23

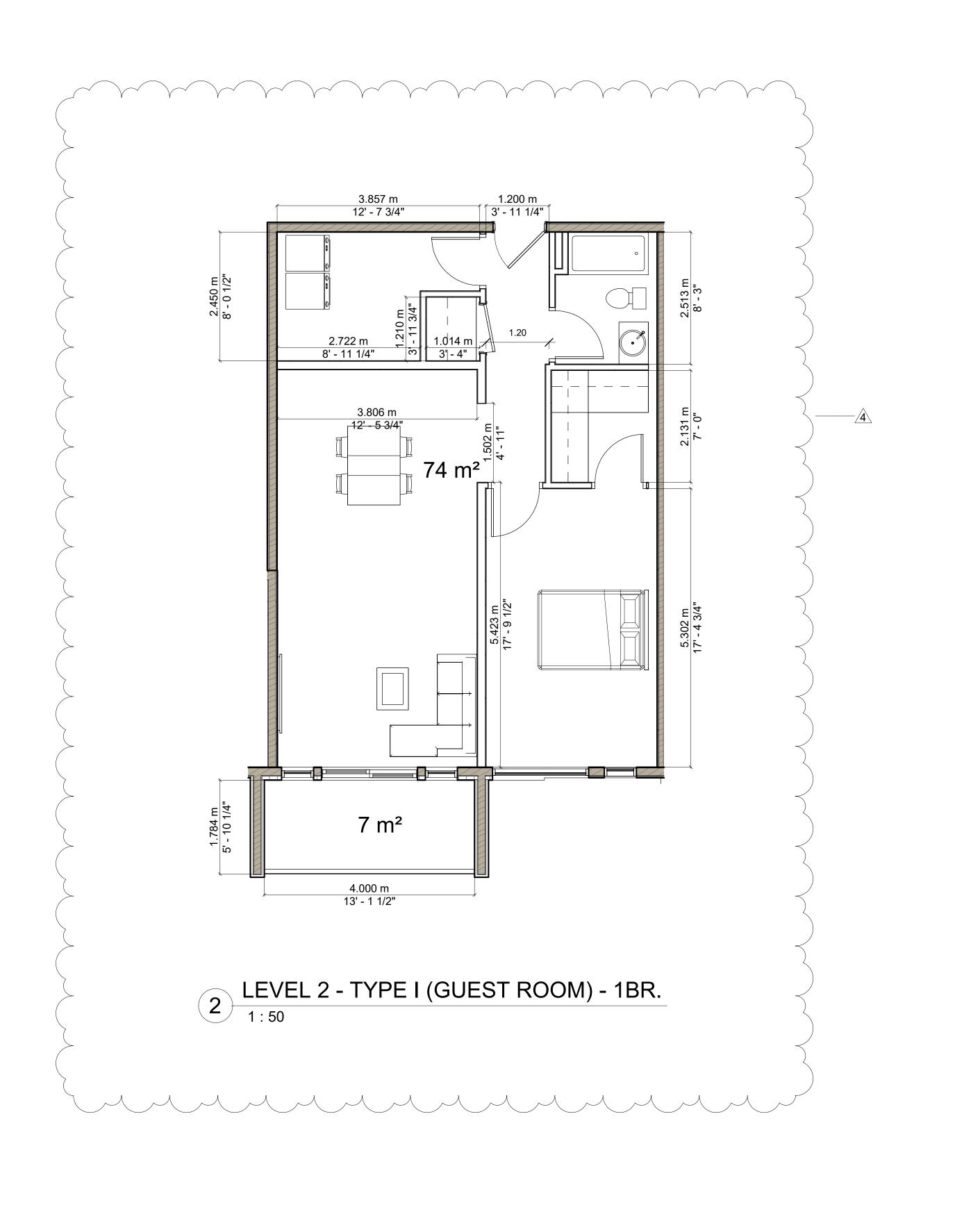
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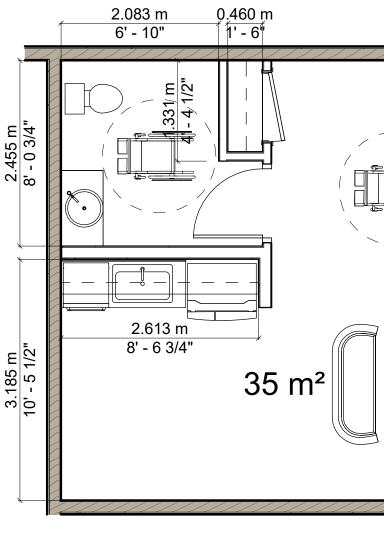




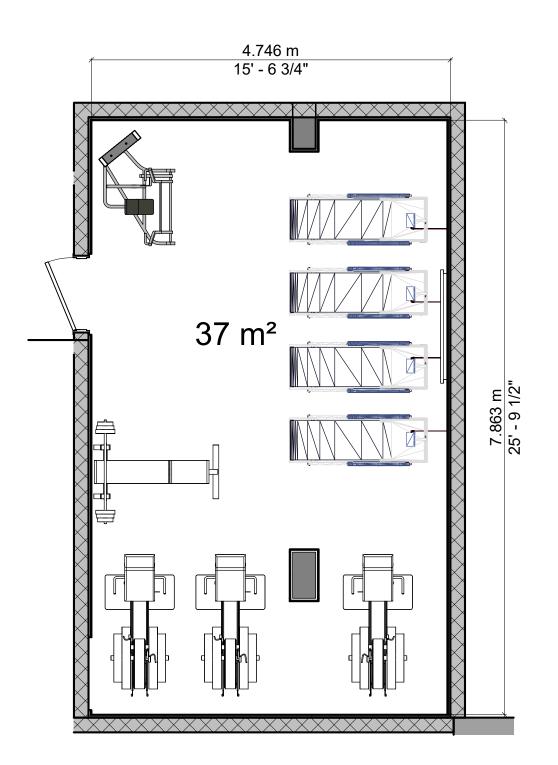








3 LEVEL 1 - TYPE G - AMENITY 1:50



5 U/G PARKING - TYPE H - GYM 1:50

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SEAL:



REVISIONS Date 10/13/23 Description 1 ISSUED FOR REVIEW ONLY 2 RE-ISSUED FOR REVIEW ONLY 10/23/23 3ISSUED FOR PERMIT ONLY12/12/234RE-ISSUED FOR PERMIT ONLY03/12/24

PROJECT:

APARTMENT BUILDING

LOT RF-7, HAMMONDS PLAINS RD, HAMMONDS PLAINS, NS. TITLE:

MAY 07/23

AS SHOWN

UNIT TYPE F,I,G,H & J

Drawn by: Checked: M.B

Approved: M.R

S.S

dwg #:

Project #: 230108