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PART 16A: C-4 (COASTAL VILLAGE CENTRE) ZONE

16A.1 C-4 USES PERMITTED

No development permit shall be issued in any C-4 (Coastal Village Centre) Zone except for the following, pursuant to the Site Plan Approval process:

Commercial Uses

- Commercial uses permitted in the C-1A Zone
- Full Service Restaurants
- Take-Out Restaurants
- Retail Stores
- Banks and Financial Institutions
- Offices
- Bakeries
- Veterinary Clinics and the associated housing of animals
- Theatres and Cinemas except drive in theatres
- Commercial Schools
- Private Clubs not exceeding 418.5 m² (4,500 ft²) of gross floor area
- Commercial Entertainment Uses, except cabarets, in conjunction with Full Service Restaurants, not exceeding 2.3 ha (2,500 ft²) devoted to public use

Other Uses

- Institutional Uses including cemeteries
- Maximum of three (3) dwelling units within a commercial use building
- Public Utilities/Parks Uses
- Public Transit Terminals
- Public Parks
- Uses Accessory to Permitted Uses

16A.2 Site Plan Approval shall not be required for a change in use or occupancy within a building, external renovation, internal renovations with no external renovation, modifications to a building, accessory buildings, or any signage.

16A.3 C-4 ZONE REQUIREMENTS

In any C-4 (Coastal Village Centre) Zone no development permit shall be issued except in conformity with the following requirements:

- Minimum Lot Area 3,484 m² (37,500 ft²)
- Minimum Lot Frontage on Schedule K Streets

(Hwy. 333, Hwy. 3, and Hwy. 213) 61.0 m (200 ft)	
Minimum Lot Frontage	100 ft (30.5 m)
Maximum Front/Flankage Yard Setback	40 ft (12.2 m)
Minimum Rear and Side Yard Setback	15 ft (4.6 m)
Minimum Setback from an abutting residential zone or use	30 ft (9.1 m)
Maximum Height of a Building	35 ft (10.7 m)
Maximum Number of Stories of a Building above grade	3
Maximum Lot Coverage	40 %
Maximum Impervious Surface Coverage	65%
Minimum Landscaped Area	35%

16A.4 OTHER REQUIREMENTS: FLOOR AREA

- (a) The gross floor area of all buildings (including accessory buildings) on a lot in any C-4 (Coastal Village Centre) Zone, including indoor parking at or above established grade, shall not exceed 30,000 ft² (2,787 m²). In addition, no building footprint shall exceed 10,000 ft² (929 m²);
- (b) Notwithstanding Section 16A.4(a), where institutional uses are permitted in any C-4 (Coastal Village Centre) Zone, the maximum footprint of an institutional building shall not exceed 15,000 ft² (1,394 m²); and
- (c) Notwithstanding 16A.4 (a) where a building contains commercial and residential uses, an additional 2750 square feet (29600.7 m²) of gross floor area may be used for storage that is ancillary to an existing commercial uses.

16A.5 OTHER REQUIREMENTS: PUBLIC UTILITIES/WORKS USES AND PUBLIC TRANSIT TERMINALS

Where public utility/works uses and public transit terminals are permitted in any C-4 (Coastal Village Centre) Zone, the following shall apply:

- (a) No development permit shall be issued for a public utility/works use or a public transit terminal except in conformity with the provisions of Section 16A; and
- (b) A public utility/works use or public transit terminal shall address, where applicable, the Site Plan Approval provisions of the C-4 Zone, as required by Section 16A.13.

16A.6 OTHER REQUIREMENTS: WATERCOURSE SETBACK FROM THE EAST RIVER

Notwithstanding the requirements of Section 4.19 1 (a), the watercourse setback from the East River and the Indian River will be 30.5 m (100 ft).

16A.7 OTHER REQUIREMENTS: DWELLING UNIT USES

Where dwelling units are permitted in any C-4 (Coastal Village Centre) Zone, the following shall apply:

- (a) Where a commercial use building contains residential units, the dwelling units shall not exceed 50 percent of the gross floor area of the commercial use building, nor be located above or below the ground floor;
- (b) No more than three (3) dwelling units shall be permitted within a commercial use building, and no more than three (3) dwelling units shall be permitted on a lot;
- (c) No dwelling unit shall be permitted on a lot less than 5,574 m² (60,000 ft²); and
- (d) Amenity space shall be provided for recreational purposes such as, but not limited to, common recreation areas, play areas, recreational rooms, roof decks, terraces, swimming pools, courtyards, gardens, patios and tennis courts and clearly identified plans submitted for a Development Permit. The minimum amenity space shall be provided based on the type of residential unit as follows:

(i) One Bedroom/Back Porch:	200 ft ² (18.6 m ²)
(ii) Two Bedroom:	350 ft ² (32.5 m ²)
(iii) Three Bedroom:	500 ft ² (46.5 m ²)
(iv) Four or more Bedroom:	600 ft ² (55.7 m ²)

For the purposes of determining amenity space requirements, one bedroom plus den/office units shall be considered to be a two-bedroom unit, two bedroom plus den/office units shall be considered to be a three-bedroom unit, and so on.

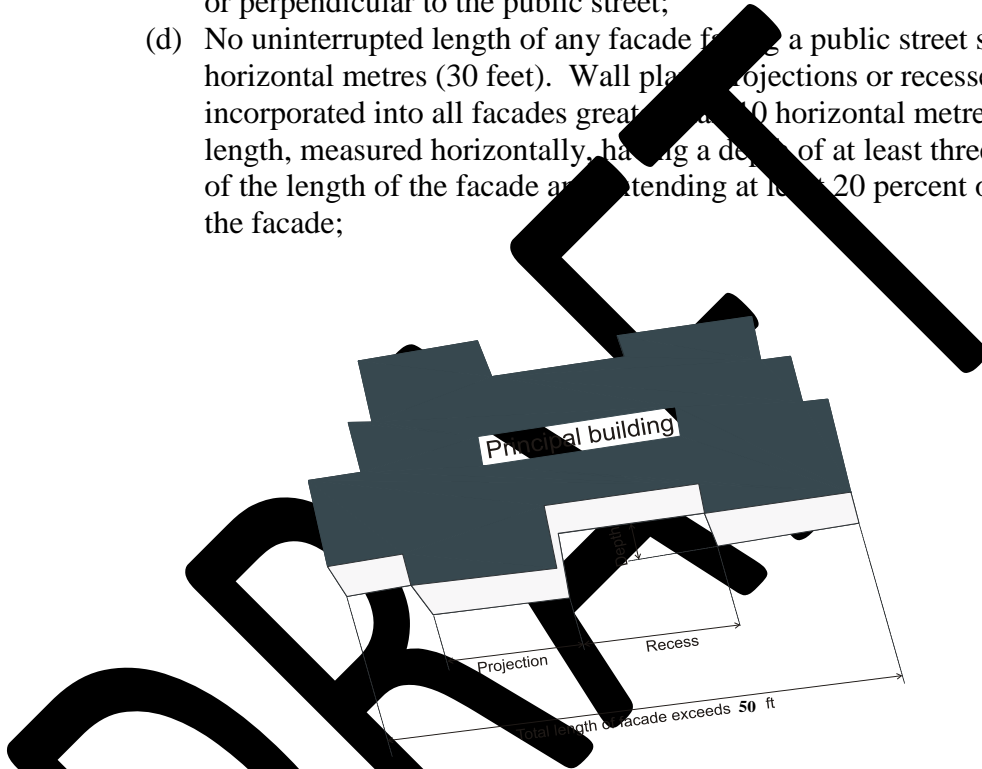
16A.8 OTHER REQUIREMENTS: ARCHITECTURAL DETAIL

In any C-4 (Coastal Village Centre) Zone, the following architectural requirements shall apply:

- (a) A combination of arcades, display windows, entry areas, permanent awnings or other such features shall be incorporated into all building

facades along not less than 60 percent of their horizontal length facing a public street;

- (b) Where a pitched roof is used, the minimum slope shall be 4:12. The upper floor of any structure shall be articulated with a roof design that incorporates features such as dormers, parapets, peak roof forms, or other architectural treatment considered to be acceptable;
- (c) With the exception of corner lots, building lines shall be generally parallel or perpendicular to the public street;
- (d) No uninterrupted length of any facade facing a public street shall exceed 10 horizontal metres (30 feet). Wall plane projections or recesses shall be incorporated into all facades greater than 10 horizontal metres (30 feet) in length, measured horizontally, having a depth of at least three (3) percent of the length of the facade and extending at least 20 percent of the length of the facade;



- (e) A minimum of one clearly defined, visible entrance way shall be provided on each facade oriented to the public street. All entrance ways required to be clearly defined shall include no less than three of the following elements:

- (i) canopies or porticos;
- (ii) awnings;
- (iii) recesses/projections;
- (iv) arcades;
- (v) raised corniced parapets over the door;
- (vi) peaked roof forms;
- (vii) display windows;
- (viii) architectural details such as tile or stone work, and decorative mouldings which are integrated into the building;

- (ix) integral planters or wing walls that incorporate landscaped areas and sitting places; and
- (x) or any other similar architectural treatment considered to be an acceptable equivalent;
- (f) Windows shall be accentuated by design details (i.e. arches, hoods, mouldings, decorative lintels, pediments, sills);
- (g) Rooftop equipment, including, but not limited to, satellite and other telecommunication equipment, air handling units, elevator equipment, cooling towers and exhaust fans shall be screened (visually) from any public street and adjacent properties. Screening shall include but not be limited to parapets and enclosures. Screening screens shall be part of the architectural design with similar detailing and materials and not appear as add-ons;

16A.9 OTHER REQUIREMENTS: LANDSCAPING

- (a) A 15 ft (4.6 m) wide landscape strip shall be provided along all street property lines, exclusive of driveways and walkways. The required landscape strip shall incorporate a minimum of one (1) tree (minimum of 60 mm caliber) and three (3) shrubs per 25 feet (7.6 m) of street frontage. The incorporation of trees and shrubs into the required landscape strip may be provided in the form of groupings, provided a minimum ratio of one (1) tree and three (3) shrubs are provided per 25 feet (7.6 m) of street frontage;
- (b) Within the required landscape strip, a contiguous hard surfaced pathway with a minimum width of one and a half feet (1.5m) shall be provided. The required pathway shall connect to abutting properties;
- (c) Notwithstanding Section 16A.8(a), existing trees may be substituted where trees and shrubs are required; and
- (d) All other landscaped areas shall be grassed, or alternatively, natural ground covers such as water features, stone (washed or flat), mulch, perennials and annuals may be utilized.

16A.10 OTHER REQUIREMENTS: DRIVEWAY ACCESS

- (a) No lot with less than 200 feet (61 m) of contiguous frontage on Schedule K streets shall be permitted driveway access onto Schedule K streets;
- (b) Where a lot has a minimum of 200 feet (61 m) of contiguous frontage on a Schedule K street, a maximum of one (1) driveway access onto the Schedule K street shall be permitted; and
- (c) A lot with more than 300 feet (91.4 m) of contiguous frontage on a Schedule K street may be permitted a maximum of two (2) driveway accesses onto the Schedule K street.

16A.11 OTHER REQUIREMENTS: PARKING

- (a) Minimum parking requirements established in Section 4 shall be reduced by 20 percent in the C-4 (Coastal Village Centre) Zone; and
- (b) All lots with more than ten (10) required parking spaces shall have ten (10) percent of their parking area landscaped with vegetation such that the parking lots do not have groups of parking stalls greater than ten (10) in an uninterrupted area. Landscape areas designed to separate a bank of parking stalls shall be a minimum of six (6) feet (1.8 m) in width and may be calculated as pervious surface, if applicable. Required landscaped areas associated with required parking stalls shall have a minimum of one (1) tree (minimum of 60 mm diameter) and three (3) shrubs.

16A.12 OTHER REQUIREMENTS: BICYCLE PARKING

- (a) Bicycle parking which permits the locking of a bicycle to the frame and the front wheel and support the bicycle in a stable position with two points of contact (bicycle racks - including wall mounted varieties) shall be provided at a rate of one (1) per 2,500 ft² (250 m²) of gross floor area, excluding residential units, and
- (b) Bicycle parking that secures a bicycle and protects it from elements of weather, which includes a key secured areas such as lockers, bicycle rooms, and bicycle cages shall be provided at a rate of one (1) per 2,500 ft² (250 m²) of gross floor area.

16A.13 OTHER REQUIREMENTS: OUTDOOR STORAGE AND DISPLAY

- (a) No outdoor storage is permitted in the front or side yard in the C-4 (Coastal Village Centre) Zone;
- (b) Outdoor storage located in the rear yard shall be screened and/or fenced;
- (c) Outdoor display of goods and wares shall be permitted, provided the outdoor display is associated with commercial uses permitted in the C-1A Zone, retail uses, retail stores, bakeries, or institutional uses; and
- (d) No outdoor display shall be permitted in any required landscaped area, or any area required for pedestrian movement.

16A.14 OTHER REQUIREMENTS: SITE PLAN APPROVAL

- (a) No development permit shall be issued for any use permitted in the C-4 (Coastal Village Centre) Zone, prior to the Development Officer granting Site Plan Approval. Applications for Site Plan Approval shall be in the form specified in Appendix E. All applications for Site Plan Approval

shall be accompanied by a site plan properly drawn to scale and of sufficient detail to address all of matters identified in this Section.

- (b) Notwithstanding the Site Plan Approval notification distance required by the Halifax Regional Municipality Charter, the Development Officer shall give notice in writing of an approved site plan, or the appealed refusal of a site plan, to every assessed owner whose property is within 656.2 ft (200 m) of the applicant's property.
- (c) Where Site Plan Approval provisions conflict with Part 4 and Part 5, the Site Plan Approval provisions shall prevail.
- (d) The Development Officer shall approve a Site Plan where the following matters have been addressed:
 - (i) landscaping required by the C-4 Zone includes the retention of existing natural vegetation, where feasible;
 - (ii) designed walkways, pathways, and other pedestrian connections incorporate change in colour, texture, or material;
 - (iii) walkways are incorporated along the entire front facade of a commercial use building which contains two or more commercial occupancy spaces;
 - (iv) landscape elements such as but not limited to small shrubs, trees, benches, lighting and planters are provided along the entire front facade of a commercial use building which contains two or more commercial occupancy spaces;
 - (v) designated walkways extend from building entrances to a public street and to any public park or public trail system abutting the property, and unless otherwise not possible, do not cross any driveway or parking areas;
 - (vi) designated walkways extend from buildings entrances to the pathway required by the C-4 Zone landscaping requirements;
 - (vii) the pathway required by the C-4 Zone landscaping requirements is connected with required pathways located on abutting properties;
 - (viii) a storm water management plan is prepared by a Professional Engineer, which displays sound engineering principles and provides consideration of both upstream and downstream properties, and integrates landscaping elements required by the C-4 Zone;
 - (ix) driveway access is located and designed to minimize impacts on adjacent properties;

- (x) required non-residential bicycle storage facilities are provided near the main entrances to buildings;
- (xi) within any required side or rear yard, existing vegetation be retained unless it does not provide for adequate screening from abutting properties or where the existing vegetation conflicts with required parking and loading areas;
- (xii) where parking areas are located within any required side or rear yard abutting a residentially used or zoned property, screening is provided;
- (xiii) loading facilities are only located at the rear or side of the building and screened from abutting residentially used or zoned property;
- (xiv) all refuse is screened from abutting properties and public streets;
- (xv) the Site Plan includes a Comprehensive Exterior Lighting Plan prepared by a Landscape Architect or Electrical Engineer. The Lighting Plan will consider the following:
 - (a) lighting devices be designed to direct light to driveways, parking areas, loading area, building entrances and walkways and arranged to divert the light away from streets, adjacent lots and buildings;
 - (b) different luminaire types are purpose oriented (e.g. flush mount lighting for building accent, ground-oriented lighting along pathways) be selected to provide a coordinated appearance and to light pedestrian pathways, parking spaces, driving aisles, building and site entrances and other relevant site features; and
 - (c) outdoor lighting equipment should consider using Full Cutoff Fixtures that are shielded and downward directed to reduce the spill over of lighting onto adjacent properties;
- (xvi) lighting fixtures associated with the pathway required by the Zone landscaping standards are pedestrian in scale;
- (xvii) a qualified professional has identified how all applicable landscaping requirements will be satisfied;
- (xviii) Residential units are connected, where applicable, to commercial buildings on the same lot, public parkland and open space, pedestrian trails and pathways, parking lots, the public right of way, and the signalized intersections (traffic lights). Pedestrian connections may be a combination of on-site crosswalks, walkways and sidewalks, or other forms acceptable by the Municipality; and

(xxiv) all matters required by site plan approval shall be maintained.

Insert additional General Provisions:

5.9 ADDITIONAL SIGN CONTROL - C-4 (Coastal Village Centre) Zone:

In any C-4 (Coastal Village Centre) Zone the following sign requirements shall apply. Where the following requirements conflict with Part 5, the more stringent shall apply:

Ground Signs

- (a) no more than one ground sign shall be permitted on a lot;
- (b) ground signs shall not exceed 15 ft (4.6 m) above established grade in vertical height and 10 ft (3.0 m) in width;
- (c) ground signs shall be permitted within the required landscape strip, provided other land use and law requirements are satisfied;
- (d) ground signs located outside the required landscape strip shall be sited in a landscaped area a minimum of 300 ft² (27.9 m²) in size;
- (e) ground signs shall have a maximum of two (2) faces, which shall be affixed back to back, not exceeding 75 ft² (7 m²) per sign face;

Wall Mounted Signs

- (f) wall mounted (fascia) signs shall not exceed one (1) square foot of surface area for each lineal foot of building facade facing a public street; however, no fascia sign shall exceed 50 square feet (4.7 m²) in area;
- (g) fascia signs shall not be backlit;

Wall Mounted Signs - Multiple Commercial Occupancy Building

- (h) businesses located in multiple commercial occupancy building may be permitted a maximum of two (2) wall mounted (fascia) signs, the total of which shall not exceed an area equal to ten (10) percent of the business facade upon which it is located, however, no business fascia sign shall exceed 50 square feet (4.7 m²) in area; and
- (i) No signs shall be located on the roof of any building.

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