

Construction Management Plan
323A Sackville Drive Residential 54 Unit Apartment Building
July 31, 2020

Owner	Alex Dunphy Partner 323 Sackville Drive Properties Partnership 29 Walter Havill Drive Halifax, NS B3N 3H4 Mobile: 902 489 0566 Email: dunphy.alex@gmail.com
Project Manager	Caleb Bowers Owner Bowers Construction Inc. 209-620 Nine Mile Drive Bedford, NS B4A 0H4 Mobile: 902 830 0336 Email: caleb@bowersconstruction.ca

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1. INTRODUCTION

1.1 Project Description and Objectives

323 Sackville Drive Properties Partnership is proposing to develop a four-story residential building consisting of 54 units with an underground parking level. This project is located at 323 Sackville Drive.

Commercial and residential buildings are located on the bordering lots.

Bowers Construction Inc., together with 323 Sackville Drive Properties Partnership, has prepared this Construction Management Plan (CMP) in an effort to reduce negative impacts to the community as a result of construction activities. This CMP is intended to be an evolving document to help guide the project team to mitigate impacts to the community before they arise and to address unforeseen issues.

Should any changes be required to any aspect of this CMP, an email and hard-copy of the proposed changes shall be sent to HRM for review a minimum of 10 days prior to their proposed implementation. Changes will only be implemented following approval from HRM.

1.2 Project Contact Information

The project team for the proposed development consists of:

Owner	Alex Dunphy Partner 323 Sackville Drive Properties Partnership 29 Walter Havill Drive Halifax, NS B3N 3H4 Mobile: 902 489 0566 Email: dunphy.alex@gmail.com
Project Manager	Caleb Bowers Owner Bowers Construction Inc. 209-620 Nine Mile Drive Bedford, NS B4A 0H4 Mobile: 902 830 0336 Email: caleb@bowersconstruction.ca
Site Manager	Dave Harvey Site Manager Bowers Construction Inc. 209-620 Nine Mile Drive Bedford, NS B4A 0H4 Mobile: 902 209 7431 Email: dave@bowersconstruction.ca
Traffic Control Services Safety Consultant:	TBD Apex Safety Controls Inc.

2. CONSTRUCTION SCHEDULE AND LOGISTICS

2.1 Schedule Overview

Excavation	August 2020	4 Months
Concrete	September 2020	2 Months
Framing	November 2020	5 Months
Windows and Doors	February 2021	1 Month
Exterior Cladding	April 2021	6 Months
Interior Finishing	June 2021	6 Months
Completion	January 2022	
Landscaping	May 2022	

From start to completion, the project will take approximately 1.5 years (Landscaping to be completed in Spring).

2.2 Hours

Monday to Friday:	7:00 AM – 7:00 PM
Saturdays:	8:00 AM – 7:00 PM
Sundays, Statutory Holidays, and Remembrance Day:	9:00 AM – 9:00 PM

Construction will be completed during daytime hours to avoid interruptions to local residents in the evenings and night. Construction activities must adhere to all restrictions outlined in the HRM Noise Bylaw (N-200).

3. SITE PLAN

Refer to Fathom Grading Plan – Appendix 1
Civil Engineering to be Completed by DesignPoint and included in the Grading Plan

4. VEHICLE AND PEDESTRIAN MANAGEMENT

4.1 Traffic Control Plans

The development site at 323A Sackville Drive contains one new construction development with two future projects in mind.

A site-specific traffic control plan will be adopted for construction and are attached in Appendix B.

Traffic lane closure HRM Encroachment By-Law E-200, Streets By-Law S-300, Traffic Control Manual Supplement and Nova Scotia Transportation and Infrastructure Renewal Workplace Traffic Control Manual, TAC Uniform Traffic Control Devices, HRM Controlled Access Streets By-Law S-900 have been identified and reviewed related to the construction activities.

No permanent lane closures are intended at is time.

4.1.1 Lane closures (various dates) for underground utilities on Sackville Drive

Lane closure and traffic diversions will be required during service installs. All work under the guidance of TWS.

Installation of the services and related TCP will be generated by the excavation company and forwarded to Halifax for review.

Water, storm, sanitary installation, to be confirmed with DesignPoint and HRM Water

Electrical - to be confirmed with NS Power, excavation contractor and HRM Traffic Control. Refer to Electec drawing in Appendix C attached for underground services.

4.1.2 Delivery Requirements

All deliveries will be unloaded within the fenced in area identified in Appendix B.

4.1.3 Pedestrian Traffic (PMP)

There is no expected interruption to pedestrian traffic except when services are brought in from Sackville Drive.

4.1.4 Permits for Land and Street Closure

The excavation company will apply and pay for the required lane closures permits to allow the installation of the underground site services of water, storm and sanitary. We are not intending lane closures for other construction related activities.

Refer to the permit drawings for underground services.

4.1.5 Notification

Traffic control measures, signage and work activity should not impact residents or vehicle traffic during construction. There are no road closures intended for this project.

4.1.6 Inspections and Adjustments of TCP

Inspections and reviews of the TCP and PMP for related work activities will be ongoing during the construction project. Any adjustments required will be presented to Halifax for review.

4.1.7 Emergency Vehicle Access

Will be always maintained.

5. PARKING

All parking will be within our jobsite.

Contractor parking will be within the development site or in areas permitted under Halifax Public Parking By-Laws.

No encroachments are intended for this project.

There are no parking stalls or meters displaced by this project.

6. PEDESTRIAN MANAGEMENT

6.1 Overview

The existing pedestrian sidewalk located on Sackville Drive will be unobstructed.

It is our intention that our jobsite will in no way interfere with pedestrian traffic.

All work will be completed in compliance with HRM Traffic Control Supplement, NSTIR Temporary Workplace Traffic Control Manual, HRM S-900 Controlled Access Streets By-Law.

There are no impacted bus stops.

6.2 Risk Management - Identifiers

- ☐ Pedestrians Traffic
 - No impacts to pedestrian traffic
- ☐ Vehicular Movement - Public
 - No impacts to vehicular traffic
- ☐ Vehicular Movement - Construction Related
 - Entering and exiting construction area
 - Mitigation -TCP signage
 - Slow Moving
 - Mitigation - TCP signage
 - Visual Awareness
 - Mitigation - No mitigation required.
- ☐ Dust and Debris Control
 - Products from construction related activities
 - Mitigation - installation of 6' high safety fence with dust control mesh, meeting Halifax standards.
- ☐ Noise Control
 - Associated with construction related activities
 - Mitigation - construction related activities will be managed within the Halifax Noise By-Laws.

7. VISUALLY IMPAIRED PERSONS

7.1 Overview

The Pedestrian Management Plan (PMP) includes specific wayfinding for the visually impaired.

Reduced speed signs and pedestrian crossing signs will be posted on Sackville Drive.

The PMP has been prepared by a qualified TWS person.

PMP signage will be posted a minimum 5 days in advance of sidewalk closure.

The PMP plan and signage will be reviewed on a regular basis and any adjustments required will be presented to Halifax for review.

There will be no requirement for temporary sidewalks during the construction activities.

7.2 Hazardous assessment

- ☐ Pedestrians Crossing
 - Mitigation - Posting of signage and reduced speed zones. Coordination with Halifax Traffic Services for reduced speed zones.
 - Mitigation - Clearly marked visual cues crossing signage.
 - Mitigation - Maintaining clear path of travel. As this area is managed by Halifax Public Works for snow clearing and street repairs, this activity should continue.
- ☐ Vehicular Traffic
 - Install reduce speed signs, coordination with Halifax Traffic Services, during the construction activity.

8. ACCESSIBILITY

We do not foresee issues with accessibility as our jobsite is independent from vehicle and pedestrian traffic.

There is no requirement for a curb ramp or transition.

9. CONSTRUCTION SITE PROTECTION AND HOARDING

The construction site will be enclosed with security fencing. Safety signage with PPE requirements will be posted. The Developer and participating partners will be displayed. Vehicle traffic areas will be constructed with concrete "jersey" barriers complete with chain link fencing top for a total height extending to 2.4 meters above existing roadways (if/when required).

There will be no street encroachments.

There will be no requirement for covered walkways.

The hoarding will not impede vehicular traffic.

10. SITE PROTECTION AESTHETICS

Project renderings, marketing materials, supporting partners and general safety related information will be posted on the site hoarding system.

11. SITE INFORMATION AND CONTACTS

Project related information, project renderings, project manager and developer information will be posted.

Site information will be posted a minimum 10 days in advance of project start.

12. LIFTING, HOISTING AND CRANE OPERATIONS

We will not be using a crane on this jobsite.

There is no Transport Canada Regulatory review required.

NS Power clearances will be obtained prior to construction.

13. SITE SAFETY AND SECURITY

Occupational Health and Safety measures complying with NS OH&S Act will be implemented.

Apex Safety Controls Inc. will represent 323 Sackville Drive Properties Partnership throughout this Development.

Each trade will be required to meet and exceed the authorities having jurisdiction including but not limited to NSDOL, HRM (Halifax) and other authorities.

PPE signs will be posted on the site hoarding system.

NSDOL documentation will be posted in the construction site office.

Site safety will be maintained in compliance with local NS OH&S Act and the authorities having jurisdiction. This will include but not be limited to, vehicular and pedestrian traffic, trades and management operations.

Access gates will be installed in 2 locations. Location 1 is between the southwest corner of the property and the other on the southeast corner of the property. Refer to Appendix B for proposed driveway entrance location.

Signage will be posted on the gates and site hoarding system clearly marked "No Trespassing- Construction Personnel Only" and PPE requirements.

Regular reviews of the site signage will be completed.

14. MATERIAL HANDLING, LOADING AND UNLOADING

14.1 Overview

Materials handling and loading zone will be established within the site development. There will be no lifting over public realm.

14.2 Risk Assessment

- ☐ Loading and Unloading
 - Mitigation - Activity to be completed by a certified rigging person.
 - Mitigation - Shall be located within the identified loading/unloading zone
- ☐ Public Safety
 - Mitigation - no lifting over public realm

- ☐ Staging Area
 - Not Required – all staging will be within our jobsite
- ☐ Materials Storage
 - Mitigation - All materials will be stored within the development property lines and stored in a manner acceptable to normal construction related activities and the NS OH&S Act
 - Mitigation - Reviews of stored materials will also be completed by Apex Safety Controls Inc.
- ☐ Peak Hours
 - Considered to be between 0600 and 0800. Work activities will not impact Metro Transit or public peak hours.

15. STREET & RIGHT-OF-WAY CLEANING

Street cleaning, if required due to our operations, will be completed by the site Developer and the excavation contractor.

Snow clearing activities completed by Halifax will not be impacted by the development activities.

There are no street encroachment areas to be maintained

16. STORMWATER MANAGEMENT AND RUNOFF POLLUTION

See Appendix 1 – Fathom Grading Plan

Storm water management will be delegated to the site excavation company and managed in accordance with NSTIR Erosion and Sedimentation Control Manual. As a minimum HRM stormwater catch basins and manholes will be covered with geotextile fabric and maintained in accordance with NSTIR Water Discharge Regulations. Site dewatering and ground water management in accordance with NSTIR.

Silt fencing will be installed on lower site gradients to control erosion and natural rainfall runoff.

Site entrance and exit area will contain rip-rap rock dust and debris collection to reduce products entering Halifax ROW. These systems will be monitored and adjusted as required for environmental and debris containment within the development site.

17. NOISE AND DUST POLLUTION

Noise and dust control will be a joint effort between the trades and the Developer.

The trades will abide by HRM By-Laws (N-200) related to noise control and restrictive working hours as noted in Section 4 of this document.

Dust control will extend 6' in height on the site hoarding system for dust and debris.

No noise exemptions are being sought at this time.

Watering trucks will be employed to control dust as required.

Upper floors dust and debris mitigation - installation of dust control measures on each floor above level 200. This may include but is not limited to site hoarding, debris netting, housekeeping and other activities deemed necessary to control dust and debris into public ROW.

18. EMISSIONS CONTROL

Emission controls will be managed with a reduced vehicle idle site policy. There will be no public properties impacted by emissions.

19. PRE-CONSTRUCTION MEETING

We will not impact local business or residents during the construction activities as all work is maintained and controlled within the property boundaries of the development site. We do not believe a meeting is required with residents and businesses as they are not impacted by the construction activities.

Pre-construction meetings will be held with the authorities having jurisdiction including but not limited to Halifax, NS Power and NSDOL.

With no impacts to public ROW there will be no impact to local deliveries and transportation

20. NOTIFICATION REQUIREMENTS

No street closures are planned

Site service including water, storm and sanitary will be coordinated with Halifax Water and other authorities having jurisdiction.

21. SUMMARY

This CMP has been prepared with the goal to minimize negative impacts to the community, pedestrians, and traffic throughout construction of this project. This CMP will be used as a minimum standard and any further safety protection required, or methods to provide a more positive environment, will be used throughout construction as necessary as approved by HRM.

Should you have any questions or comments related to this document, please contact Bowers Construction Inc. For all construction-related inquiries, please contact the owner, contractor, or traffic control service provider (see contact information in Section 1.2).

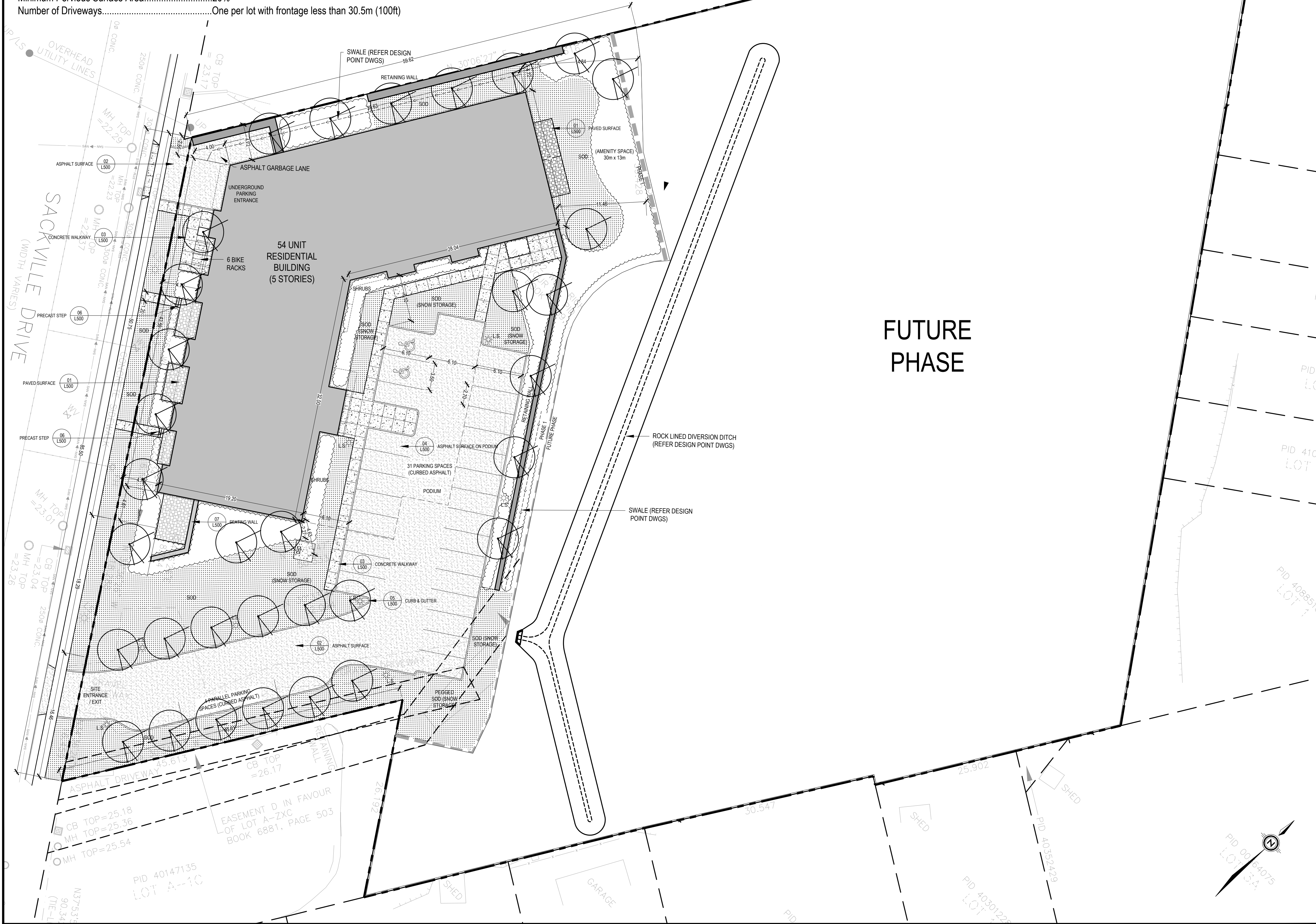
Regards,

Bowers Construction Inc.

Sackville Drive Land Use By-Law Lot Provisions

Minimum Lot Area.....	929m ² (10,000ft ²)
Minimum Lot Frontage.....	18.3m (60 ft)
Minimum Front/Flankage Yard Setback.....	4.6m (15ft) (RC-Sep 5/06; E-Oct 7/06)
Minimum Rear Yard Setback.....	4.6m (15ft) except where building abutting any residential zone or use the setback shall be 4.6m (15ft) or ½ height building whichever is greater. (RC-Sep 5/06; E-Oct 7/06)
Minimum Sideyard Setback.....	4.6m (15ft) except 6.1m (20ft) corner vision triangle required for corner lot and ½ height of the buildings where abutting any residential zone or use. Where building abutting any residential zone or use the setback shall be 4.6m (15ft) or ½ height building whichever is greater. (RC-Sep 5/06; E-Oct 7/06)
Maximum Lot Coverage.....	50%
Minimum Pervious Surface Area.....	20%
Number of Driveways.....	One per lot with frontage less than 30.5m (100ft)

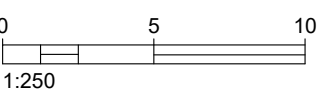
SURFACE CLASSIFICATION	AREA
BUILDING FOOTPRINT	1348m ²
ASPHALT PAVED SURFACE	1150m ²
CONCRETE PAVED SURFACE	300m ²
LANDSCAPE SURFACE	742m ²
SOD SURFACE	1,304 m ²
TREES	33 QTY



KEY PLAN | SCALE = 1:##,000

DRAWING KEY

- TEXT EXISTING FEATURE
- TEXT PROPOSED FEATURE
- LIGHTING STRUCTURE (TO ELEC ENG DETAIL)
- CONCRETE SURFACE
- ASPHALT SURFACE
- PATIO PAVING (70mm RINOX ASPEN PAVER)
- STRUCTURAL RETAINING WALL (TO STRUCTURAL ENG DETAIL)
- SEATING WALL
- PAD MOUNTED TRANSFORMER (TO ELEC ENG DETAIL)
- PARKING PODIUM BELOW
- BICYCLE RACKS
- SOD (REFER PLANTING PLAN - L3)
- PLANTING (REFER PLANTING PLAN - L3)
- TREE (REFER PLANTING PLAN - L3)



01	BUILDING PERMIT SUBMISSION	2020-07-24
NO.	DESCRIPTION	DATE

fathomstudio.ca
1 Starr Lane
Dartmouth, NS
B2Y 4V7
Formerly
Estetica Planning & Design

DRAFT
NOT FOR CONSTRUCTION

CLIENT
ALEX DUNPHY

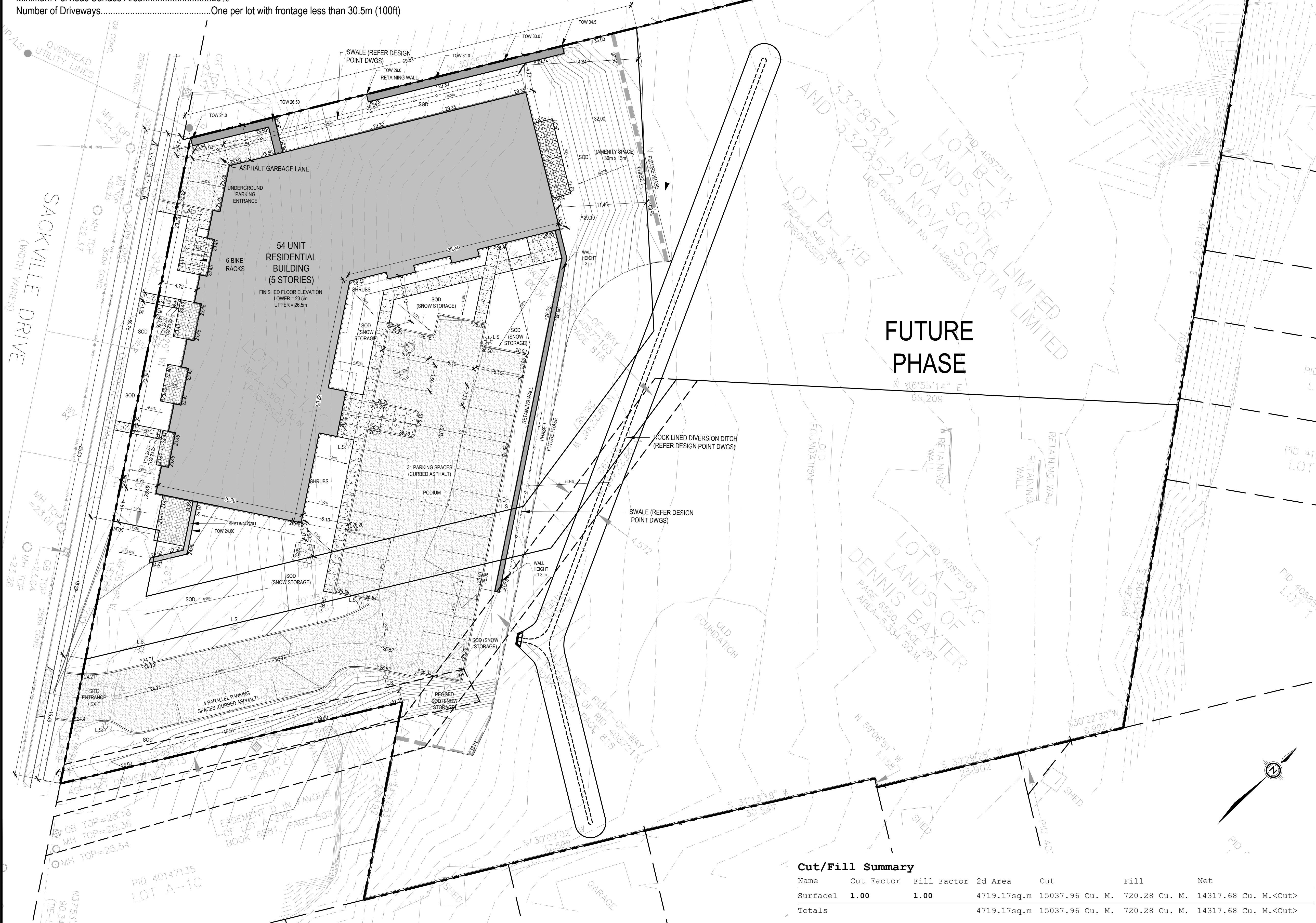
PROJECT
SACKVILLE DRIVE DEVELOPMENT
SACKVILLE, NOVA SCOTIA

SHEET DESCRIPTION
PLOT PLAN / PARKING LAYOUT

SCALE 1:250	DATE 2020/07/24	SHEET L101
DRAWN RTL / DJH	CHECKED RTL	PROJECT NO. 19-175

Sackville Drive Land Use By-Law Lot Provisions

- Minimum Lot Area.....929m² (10,000ft²)
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Maximum Lot Coverage.....50%
Minimum Pervious Surface Area.....20%
Number of Driveways.....One per lot with frontage less than 30.5m (100ft)

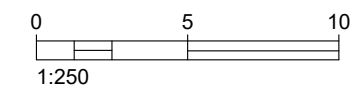


Cut/Fill Summary						
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Surface1	1.00	1.00	4719.17sq.m	15037.96 Cu. M.	720.28 Cu. M.	14317.68 Cu. M.<Cut>
Totals			4719.17sq.m	15037.96 Cu. M.	720.28 Cu. M.	14317.68 Cu. M.<Cut>

KEY PLAN SCALE = 1:##.000

DRAWING KEY

- TEXT EXISTING FEATURE
TEXT PROPOSED FEATURE
LIGHTING STRUCTURE (TO ELEC ENG DETAIL)
CONCRETE SURFACE
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PATIO PAVING (70mm RINOX ASPEN PAVER)
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SEATING WALL
PAD MOUNTED TRANSFORMER (TO ELEC ENG DETAIL)
PARKING PODIUM BELOW
BICYCLE RACKS
EXISTING ELEVATION
EXISTING CONTOUR
PROPOSED ELEVATION
PROPOSED CONTOUR
PROPOSED SURFACE GRADE



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fathom
fathomstudio.ca
1 Starr Lane
Dartmouth, NS
B2Y 4V7
Formerly
Elastic Planning & Design

DRAFT
NOT FOR CONSTRUCTION

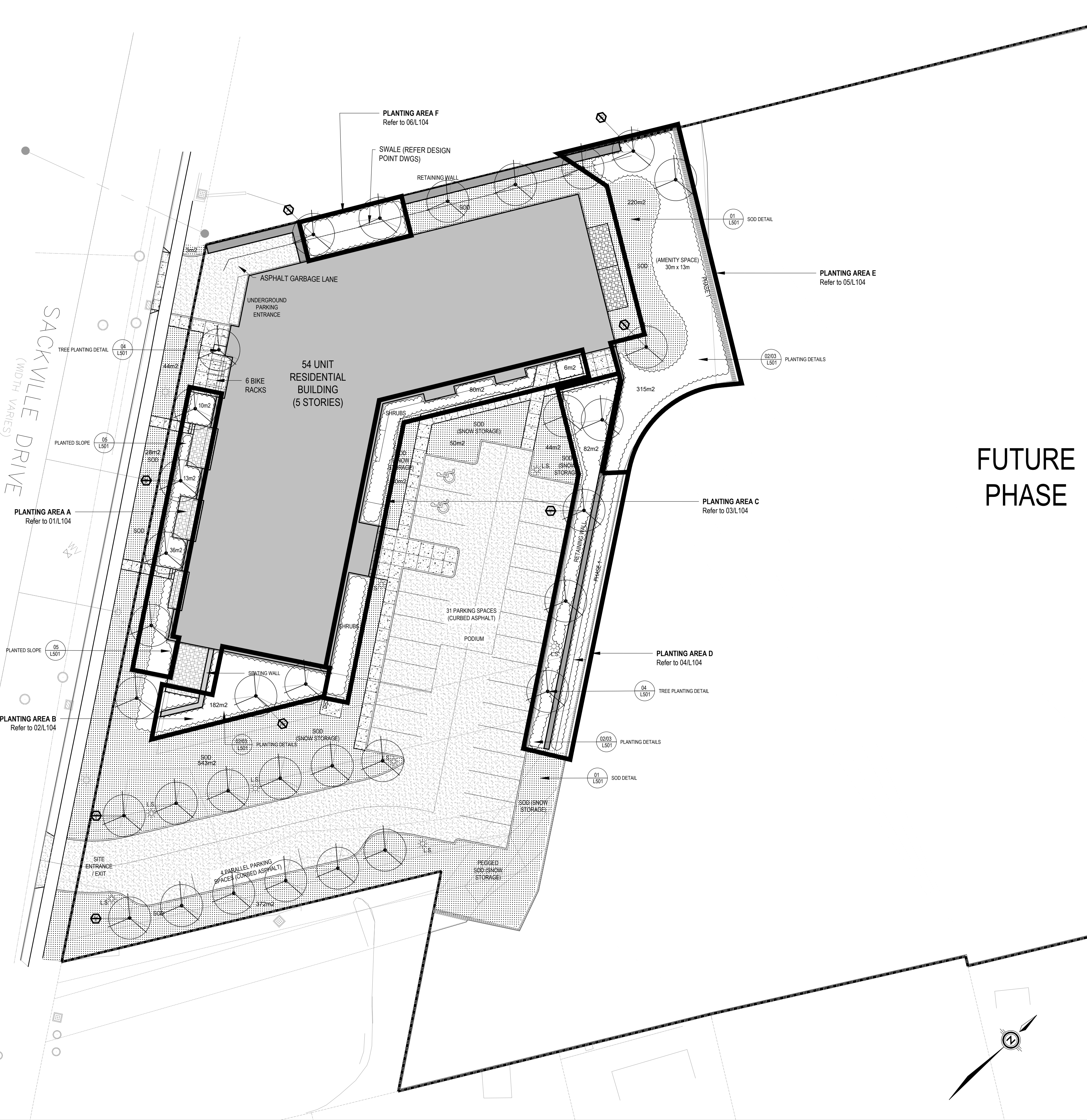
CLIENT
ALEX DUNPHY

PROJECT
SACKVILLE DRIVE DEVELOPMENT
SACKVILLE, NOVA SCOTIA

SHEET DESCRIPTION
GRADING PLAN

SCALE	DATE	SHEET
1:250	2020/07/24	L102
DRAWN	CHECKED	PROJECT NO.
RTL / DJH	RTL	19-175

LANDSCAPING QUANTITIES
Planting Areas 742m²
Sod Areas 1,304m²
Trees x 33



- PLANTING NOTES
- GENERAL PLANTING
- CONTRACTOR TO CHECK ALL QUANTITIES.
 - REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT IN WRITING.
 - ALL WORK TO BE PERFORMED BY SKILLED PERSONNEL EXPERIENCED IN THEIR TRADE.

- DELIVERY AND INSPECTION
- SPRAY ALL PLANT MATERIAL WITH ANTI-DESICCANT PRIOR TO TRANSPORT.
 - KEEP ALL ROOTS AND ROOTBALLS MOIST PRIOR TO PLANTING.
 - OBTAIN OWNER'S/OWNER'S REPRESENTATIVE APPROVAL ON ALL PLANT MATERIAL AT SOURCE OR UPON DELIVERY, PRIOR TO COMMENCEMENT OF PLANTING WORK.
 - APPROVAL OF PLANT MATERIAL PRIOR TO PLANTING SHALL NOT IMPAIR THE RIGHT OF THE LANDSCAPE ARCHITECT TO REJECT PLANTS AFTER PLANTING WHICH HAVE BEEN DAMAGED OR WHICH IN ANY WAY DO NOT CONFORM TO THE SPECIFICATIONS.
 - SUBSTITUTIONS OF SIZE OR WITH OTHER PLANT MATERIAL WILL ONLY BE ALLOWED WITH THE WRITTEN APPROVAL OF THE CONSULTANT AND THE OWNER.
 - ALL MATERIAL MUST CONFORM TO THE SIZES SHOWN ON THE PLANT LIST, EXCEPT WHERE LARGER PLANT MATERIAL IS USED WHEN APPROVED BY THE CONSULTANT. USE OF LARGER PLANTS WILL NOT INCREASE THE CONTRACT PRICE. UNDERSIZED MATERIAL WILL BE REJECTED.
 - ALL SHRUBS SHALL CONFORM TO THE PRESENT STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR SIZE AND SPECIES.
 - PLANTS ARE TO BE NURSERY GROWN UNDER PROPER CULTURAL CONSIDERATIONS, IN PARTICULAR WITH RESPECT TO SPACING, PEST AND DISEASE CONTROL, AND BRANCH AND ROOT PRUNING.

- PREPARATION AND INSTALLATION
- PREPARE PLANTING BEDS PRIOR TO ARRIVAL OF PLANT MATERIAL ON SITE.
 - EXCAVATE PER PLANTING DETAILS.
 - PLANTING MEDIUM: ALL SHRUBS AND GRASSES TO BE PLANTED IN GOOD QUALITY PLANTER GROWING MEDIUM CONSISTING OF 35% LEAF COMPOST, 50% MULSHROOM COMPOST, 14% SAND, AND 1% LIMESTONE, OR APPROVED EQUIVALENT MIXTURE, THAT PROVIDES A MINIMUM POROUS ROOT ZONE OF 1.2 CUBIC METRES.
 - PLANTER GROWING MEDIUM TO BE SUPPLIED BY FUNDY COMPOST (PH. 902.673.3020) OR APPROVED EQUIVALENT.
 - MULCH TO BE DOUBLE GRIND BARK MULCH AS SUPPLIED BY KEL-ANN ORGANICS (PH. 902.835.7645) OR APPROVED EQUIVALENT. PARTICLE SIZE TO RANGE FROM APPROXIMATELY 25MM - 75MM IN LENGTH.
 - ALL MULCH SHALL BE CLEAN, FREE FROM SILT, FINES, WEEDS, AND OTHER DEBRIS.
 - AT THE COMPLETION OF PLANTING OPERATIONS REMOVE ALL SURPLUS MATERIAL FROM SITE AT NO EXTRA COST.
 - MAKE GOOD ALL DAMAGE RESULTING FROM THE PLANTING OPERATIONS AT NO EXTRA COST.

- SOD
- SOD TO BE RHIZOMATOUS TALL FESCUE AS SUPPLIED BY MUSOUODOBOIT VALLEY QUALITY SOD (PH. 1.800.556.2272) OR APPROVED EQUIVALENT.
 - THE SOD SHALL BE FREE FROM WEEDS, WITH NO SURFACE SOIL VISIBLE WHEN MOWED TO ITS RECOMMENDED HEIGHT.
 - SOD SHALL EXHIBIT A DENSE, UNIFORM TURF WITH A STRONG ROOTING STRUCTURE AND FREE FROM BURNED OR BARE SPOTS.
 - SOD FERTILIZER TO BE COMPLETE SYNTHETIC, SLOW RELEASE WITH MAXIMUM 35% WATER SOLUBLE NITROGEN. RATIO FOR SPRING SODDING: 2:2:1; FALL SODDING: 4:1:2.
 - TOPSOIL TO BE A UNIFORM THICKNESS OF 150MM ACROSS ALL SOD, SEED, AND PLANTING AREAS. TOPSOIL TO MEET RATING 'B' OF CANADIAN SYSTEM FOR SOIL CLASSIFICATION (PH OF 5-7.5, ORGANIC MATTER OF 2.0-8.0%, AND COARSE FRAGMENTS WILL BE LESS THAN 10%).
 - SOD AND INSTALLATION SHALL MEET THE REQUIREMENTS OF THE MOST CURRENT N.S. ROAD BUILDERS ASSOCIATION STANDARDS AND SPECIFICATIONS.
 - BROKEN, DRY, DISCOLOURED PIECES WILL BE REJECTED.

- GUARANTEE AND INSPECTION
- PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE ISSUE DATE OF THE CERTIFICATE OF COMPLETION.
 - ALL PLANTS SHALL BE INSPECTED TWICE, ONCE HALFWAY THROUGH THE GUARANTEE PERIOD, AND AGAIN AT THE END OF THE GUARANTEE PERIOD. PLANTS WHICH AT THAT TIME ARE NOT IN HEALTHY, VIGOROUS GROWING CONDITION, TO THE OWNER/ OWNER'S REPRESENTATIVE, SHALL BE REPLACED AT NO EXTRA CHARGE.
 - CONTRACTOR TO CONTACT CONSULTANT AND/OR THE CLIENT TO REVIEW THE PROJECT FOR GUARANTEE INSPECTIONS.

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY
CJ	Cercidiphyllum japonicum / Katsura Tree	80mm WB	33
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY
AL	Artemisia ludoviciana / White Sagebrush	1 GAL	135
AN	Athyrium niponicum / Japanese Painted Fern	1 GAL	645
CA	Clethra alnifolia 'Hummingbird' / Summersweet	1 GAL	147
CS	Cornus sanguinea 'Midwinter Fire' / Blood-Twig Dogwood	1 GAL	37
EZ	Eryngium x zabelii 'Big Blue' / Big Blue Coneflower	1 GAL	437
HI	Hypericum inodorum 'Kolmamoc' / Mocca Hypericum	1 GAL	12
NF	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	1 GAL	118
SH	Salvia nemorosa 'Blue Hill' / Woodland Sage	1 GAL	617
GRASSES	BOTANICAL / COMMON NAME	CONT	QTY
CR	Calamagrostis brachytricha / Reed Grass	1 GAL	100
CG	Carex glauca / Blue Sedge	1 GAL	459
HM	Hakonechloa macra / Japanese Forest Grass	1 GAL	322
HS	Helictotrichon sempervirens / Blue Oat Grass	1 GAL	956
LM	Liriope muscari / Lilyturf	1 GAL	639
PA	Panicum amarum 'Dewey Blue' / Bitter Panic Grass	1 GAL	83
SH2	Sesleria heufferiana / Moor Grass	1 GAL	186
SN	Sorghastrum nutans / Indian Grass	1 GAL	100

KEY PLAN | SCALE = 1:##,000

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0 3 6
1:150

01	BUILDING PERMIT SUBMISSION	2020-07-24
NO.	DESCRIPTION	DATE

fathom
fathomstudio.ca
1 Starr Lane
Dartmouth, NS
B2Y 4V7

DRAFT
NOT FOR CONSTRUCTION

CLIENT
ALEX DUNPHY

PROJECT
SACKVILLE DRIVE DEVELOPMENT
SACKVILLE, NOVA SCOTIA

SHEET DESCRIPTION
PLANTING PLAN

SCALE
1:250

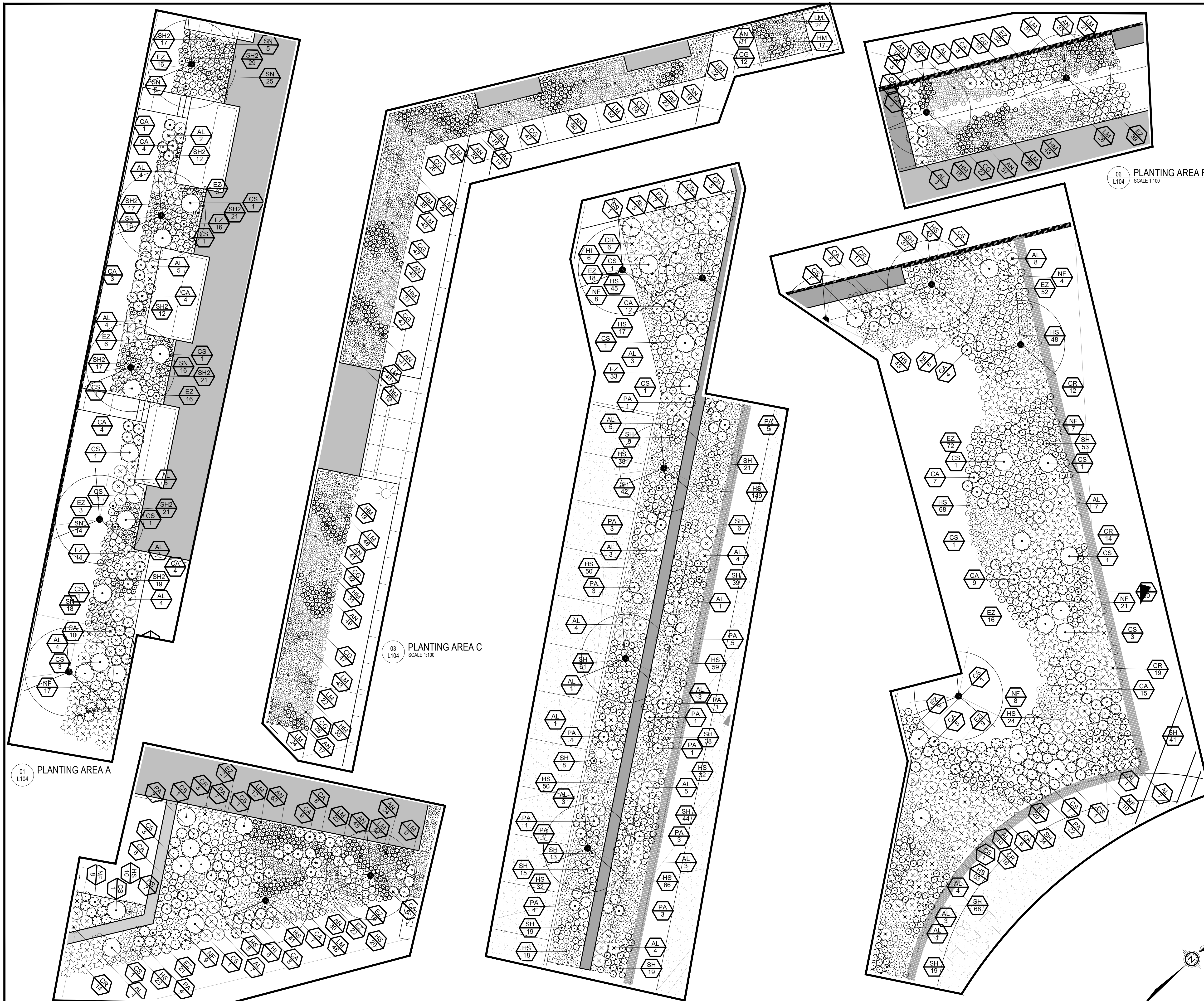
DATE
2020/07/24

SHEET
L103

DRAWN
RTL / DJH

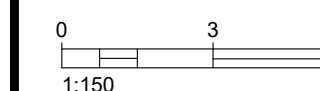
CHECKED
RTL

PROJECT NO.
19-175



KEY PLAN

SCALE = 1:##,000



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NO.	DESCRIPTION	DATE

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ALEX DUNPHY

PROJECT

SACKVILLE DRIVE DEVELOPMENT

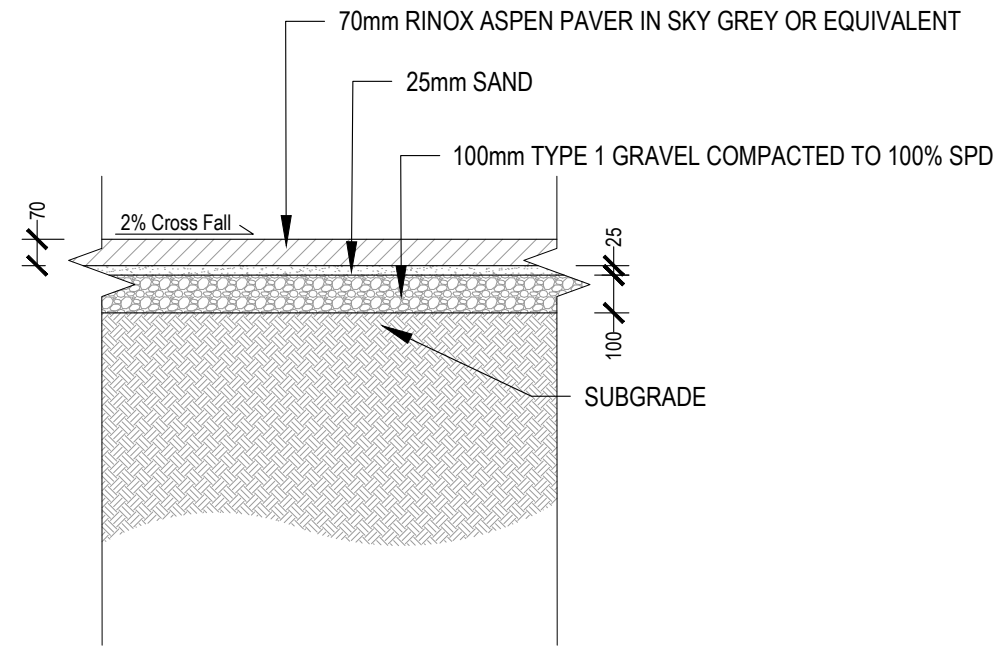
SACKVILLE, NOVA SCOTIA

1	SHEET DESCRIPTION
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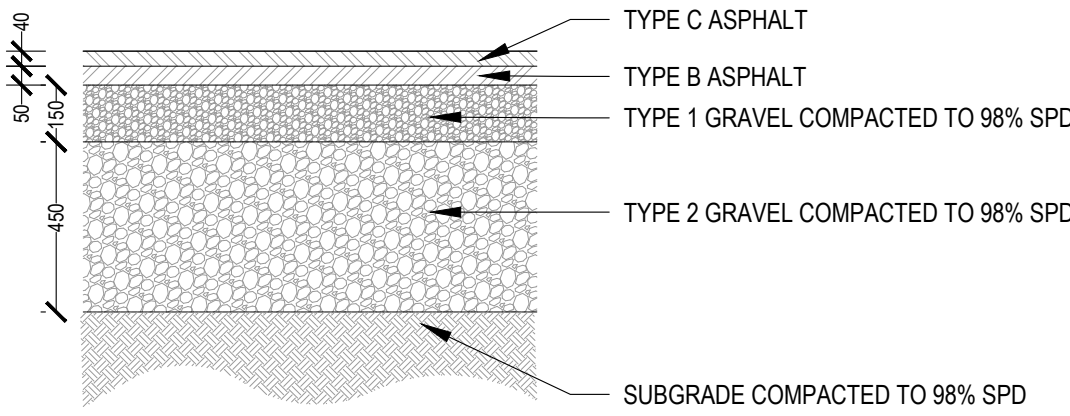
PLANTING PLAN

SCALE 1:100	DATE 2020/07/24		SHEET L104
DRAWN RTL / DJH	CHECKED RTL	PROJECT NO. 19-175	

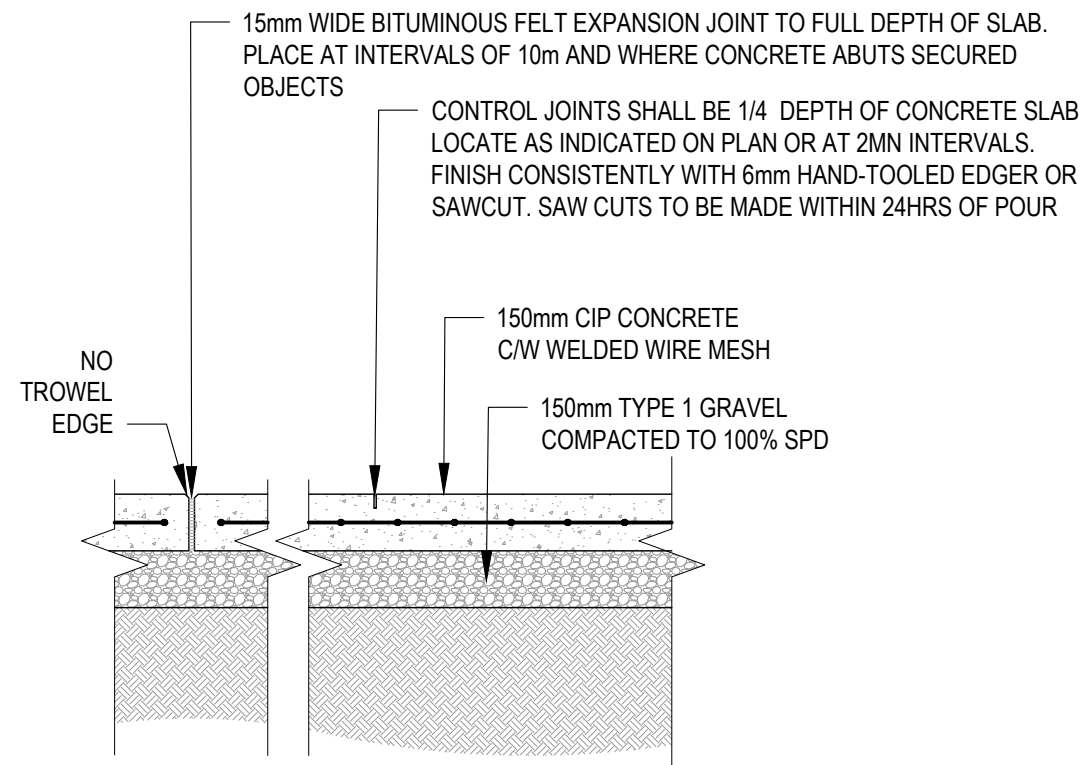
NOTES:
1. PAVERS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATION



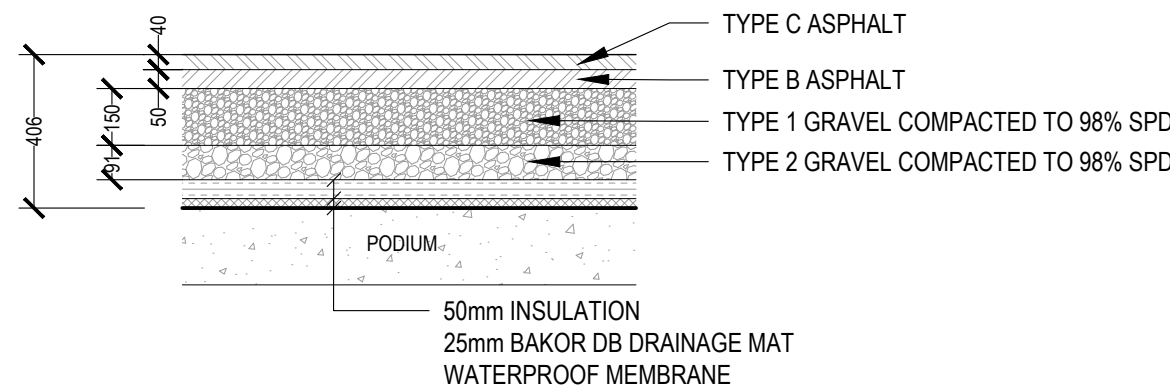
01
L500
TYPICAL PAVER DETAIL
SCALE 1:20



04
L500
ASPHALT PAVING DETAIL
SCALE 1:20

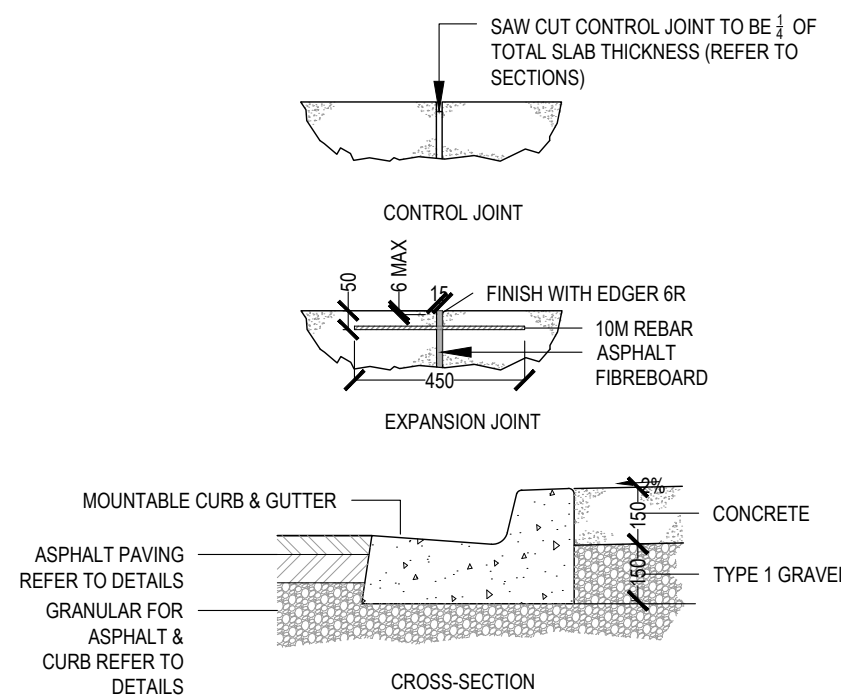


03
L500
CONCRETE WALKWAY DETAIL
SCALE 1:20

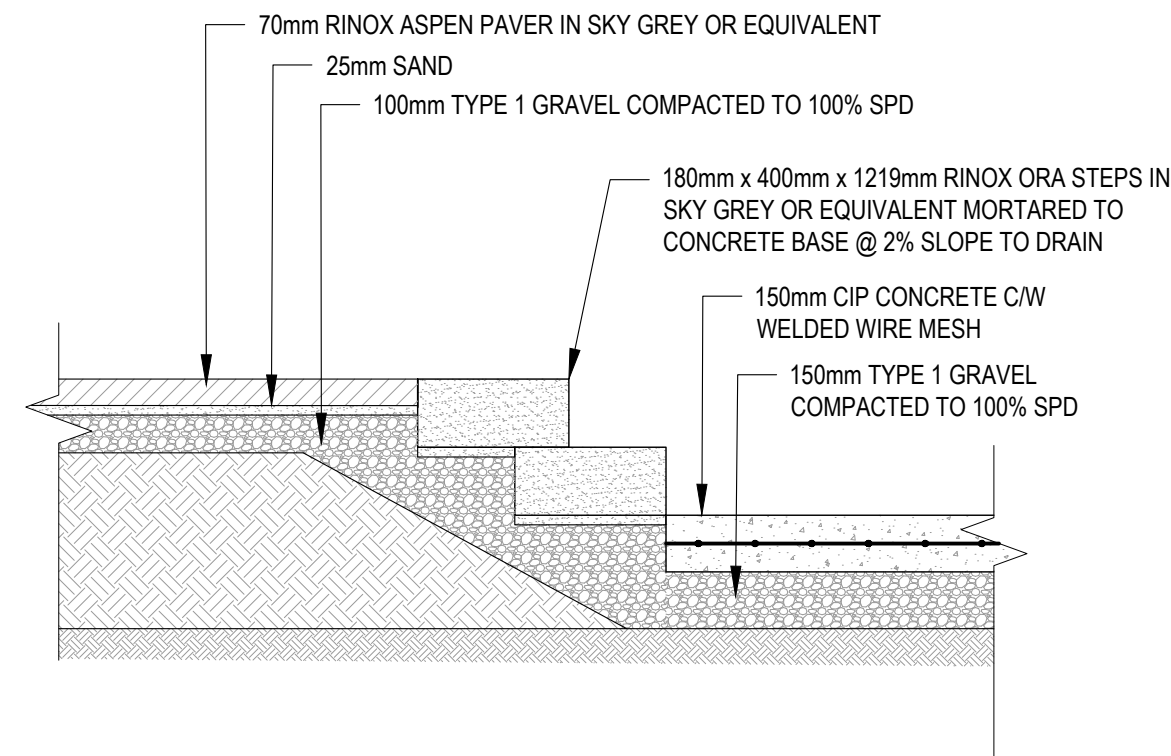


NOTE: CONFIRM ALL WATERPROOFING AND INSULATION DETAILS W/ ARCHITECTURAL DRAWINGS

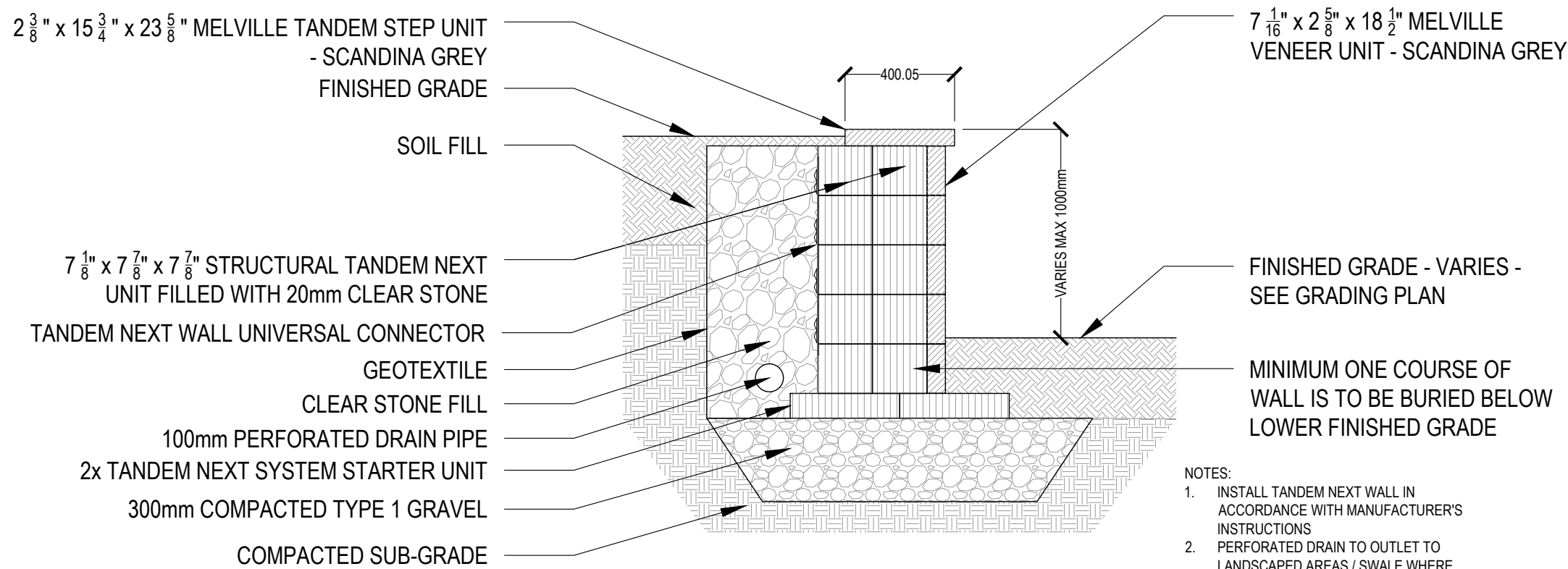
04
L500
ASPHALT PAVING ON PODIUM DETAIL
SCALE 1:20



05
L500
TYPICAL CURB & GUTTER DETAIL
SCALE 1:20



06
L500
TYPICAL PRECAST STEP DETAIL
SCALE 1:20



NOTES:
1. INSTALL TANDEM NEXT WALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS
2. PERFORATED DRAIN TO OUTLET TO LANDSCAPED AREAS / SWALE WHERE GRADE ALLOWS. PROVIDE RODENT-PROOF MESH AT PIPE ENDS
3. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR WALL INSTALLATION AT CORNERS AND END-OF-WALL FINISHING

07
L500
SEATING RETAINING WALL DETAIL
SCALE 1:20

KEY PLAN | SCALE = 1:##.000

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NO.	DESCRIPTION	DATE

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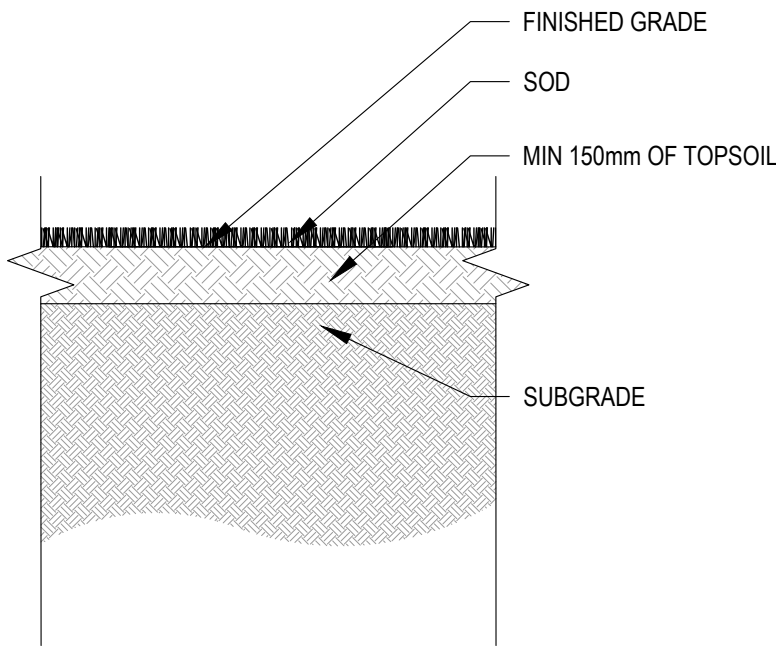
CLIENT
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PROJECT
SACKVILLE DRIVE DEVELOPMENT
SACKVILLE, NOVA SCOTIA

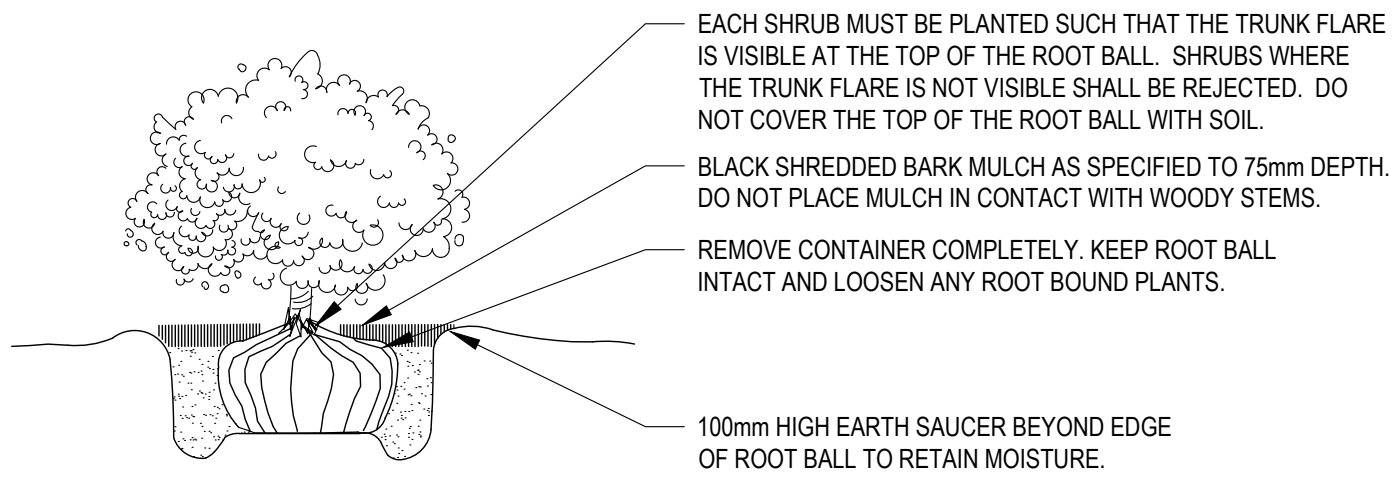
SHEET DESCRIPTION
DETAILS

SCALE AS SHOWN	DATE 2020/07/23	SHEET L500
DRAWN RTL / DJH	CHECKED RTL	PROJECT NO. 19-175

- NOTES:
1. ONLY SOD IN GOOD CONDITION SHALL BE INSTALLED; SOD THAT IS NOT RELATIVELY FREE OF WEEDS AND INVASIVE PLANTS SHALL BE REJECTED
 2. SOD SHALL BE INSTALLED PER SECTION 8.3. EXECUTION OF THE CANADIAN LANDSCAPE STANDARDS FOR TURFGRASS SOD WITH THE EXCEPTION OF SUBSECTION 8.3.8. PROTECTION
 3. SOD NOT INSTALLED PER THE AFOREMENTIONED GUIDELINES MAY BE REJECTED IF THERE IS EVIDENCE OF DETERIORATION

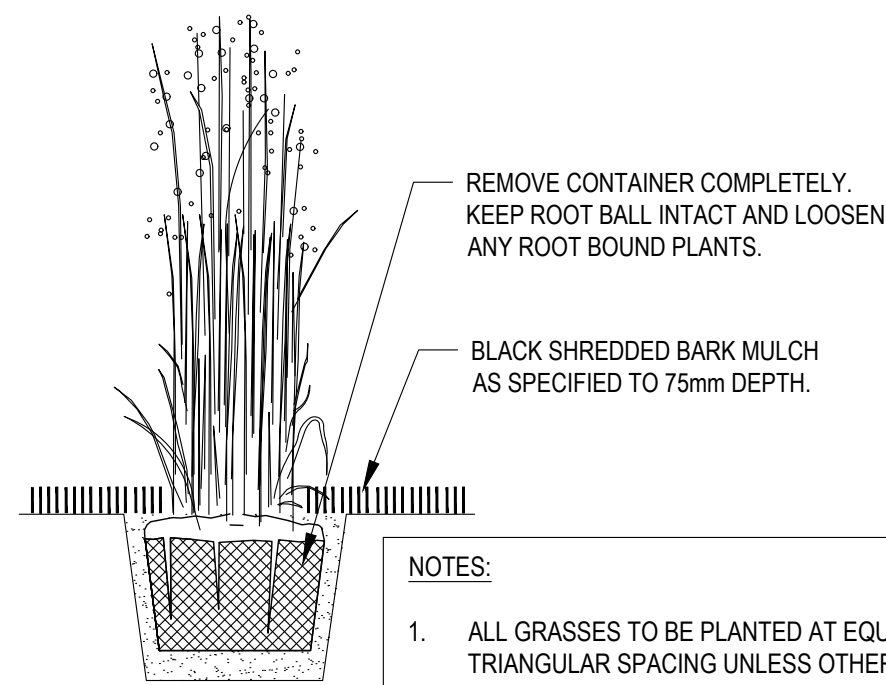


01 SOD TYPICAL SOD PLANTING DETAIL
SCALE 1:20



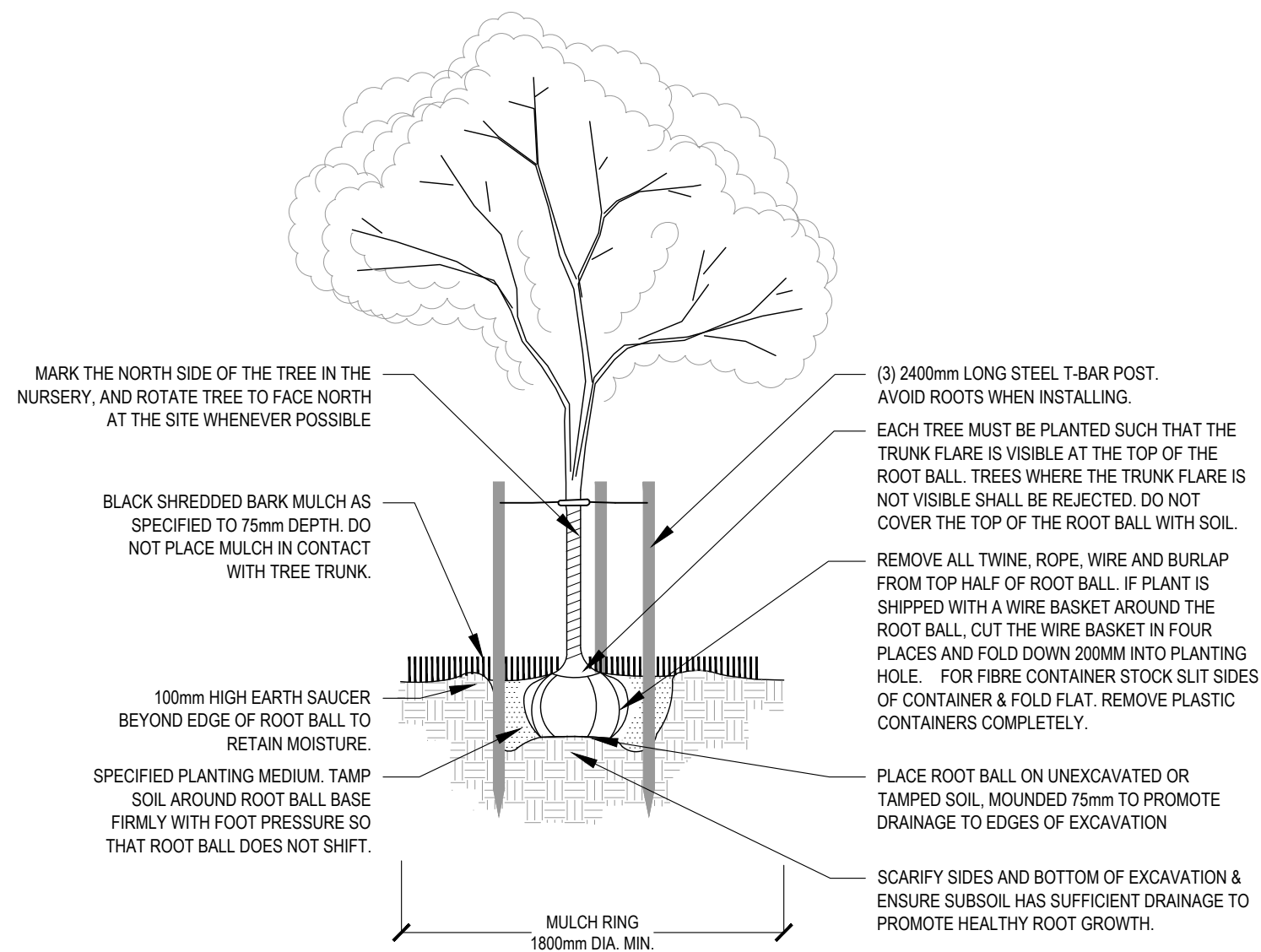
- NOTES:
1. SET TOP OF ROOT BALL FLUSH WITH GRADE.
 2. WATER AT TIME OF PLANTING AS NECESSARY TO MAINTAIN HEALTHY GROWING CONDITION.

02 WOODY SHRUB PLANTING DETAIL
SCALE 1:20

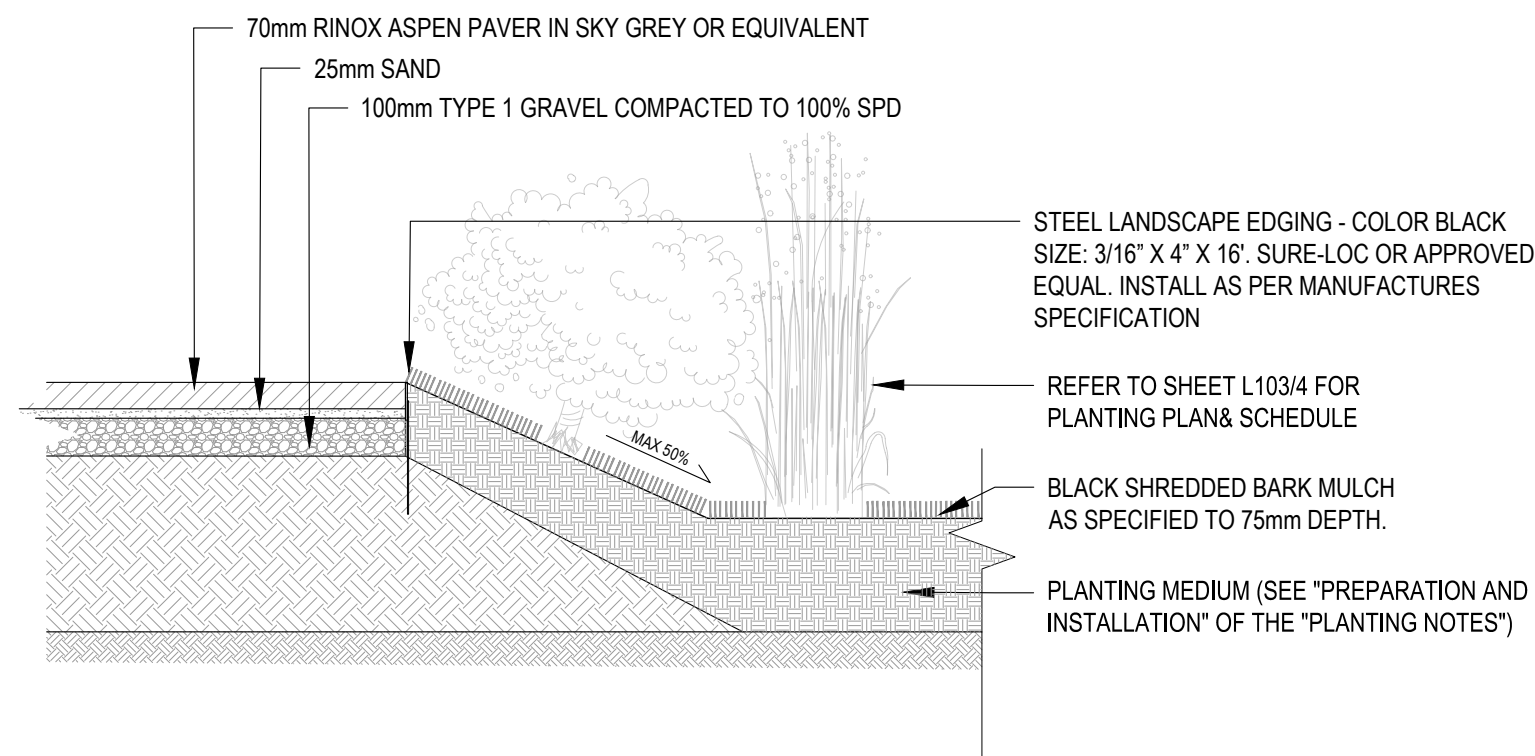


- NOTES:
1. ALL GRASSES TO BE PLANTED AT EQUAL TRIANGULAR SPACING UNLESS OTHERWISE INDICATED ON PLAN. REFER TO PLANTING PLAN FOR SPACING.

03 ORNAMENTAL GRASS PLANTING DETAIL
SCALE 1:20



04 DECIDUOUS TREE PLANTING DETAIL
SCALE 1:20



05 PLANTED SLOPE DETAIL
SCALE 1:20

KEY PLAN | SCALE = 1:##,000

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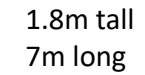
CLIENT
ALEX DUNPHY

PROJECT
SACKVILLE DRIVE DEVELOPMENT
SACKVILLE, NOVA SCOTIA

SHEET DESCRIPTION
PLANTING DETAILS


SCALE	DATE	SHEET
AS SHOWN	2020/07/23	L501
DRAWN	CHECKED	PROJECT NO.
RTL / DJH	RTL	19-175


Minimum Lot Area	929m ² (0.0009 ¹)
Minimum Lot Frontage	18.3m (60 ft)
Minimum Front/Flankage Yard Setback	4.6m (15ft) (RC-Sep/506; E-Oct/706)
Minimum Rear Yard Setback	4.6m (15ft) except where building abutting any residential zone or use the setback shall be 6.1m (18ft) or ½ height building whichever is greater. (RC-Sep/506; E-Oct/706)
Minimum Sideyard Setback	4.6m (15ft) except 6.1m (20ft) corner vision triangle required for corner lot and ½ height of the buildings where abutting any residential zone or use. Where building abutting any residential zone or use the setback shall be 4.6m (15ft) or ½ height building whichever is greater. (RC-Sep/506; E-Oct/706)
Maximum Lot Coverage	50%
Minimum Pervious Surface Area	20%
Number of Driveways	One per lot with frontage less than 30.5m (100ft)





V	50	60-70	80-90
A	50	100	150
L	30	60	180
B	*	*	30
D	5	5	10


V- Speed Zone km/h
A - Sign Spacing m
L - Taper Length m
B - Buffer Area Length m
D - Cone/ Drum Spacing m


 Driveway for deliveries

 Building Location


 Construction Zone

 Trucks Turning

 Stop Sign – exiting vehicles

 Prepared by: Pat Dunphy, June 1, 2020
Apex Safety Controls

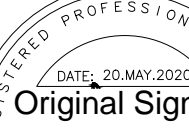




**ELECTEC
ENGINEERING**

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Phone (902) 252-2131
www.electecengineering.com

TITLE	SITE PLAN
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DRAWN	CHECKED
GB	RJ
SEAL	DATE
	20.MAY.2020
	SCALE
	AS NOTED
	DWG. NO.
	E-801