

PLANNING APPLICATION FORM

- Part 1: Applicant Information**
Part 2: Application Details
Part 3: Supporting Information Requirements
Part 4: Fees

PART 1: APPLICANT INFORMATION

Registered Property Owner(s):		
Mailing Address:		
E-mail Address:		
Phone:	Cell:	Fax:
Applicant?* <input type="checkbox"/> Yes <input type="checkbox"/> No		

Consultant:		
Mailing Address:		
E-mail Address:		
Phone:	Cell:	Fax:
Applicant?* <input type="checkbox"/> Yes <input type="checkbox"/> No		

*indicates who the applicant of record is and who the contact is for the municipality

I certify that I am submitting this application, including all of the required supporting information, for approval with the consent of the owner(s) of the subject property(s). The owner(s) has/have seen the proposal and have authorized me to act as the applicant for this planning application. * My identification as the applicant means that I am the primary contact with HRM in all matters pertaining to this application.

I understand that all studies or reports submitted in support of this application are public. Once it has been determined that these documents are complete in both the comprehensiveness of the data used and that the analysis methodology is in keeping with HRM standards, they will be available for release to the public for inspection. Upon request by HRM, I agree to provide additional copies of such reports or studies or additional information as may be necessary.

I understand that my planning application will be processed in an expeditious manner by the Municipality, and that the process will require my timely response to feedback provided. It is understood that my failure to respond in a timely manner to requests for additional information, studies, revisions, or questions of clarification provided by the Municipality may result in the closure of the planning application, and the refunding of any unused portion of submitted fees.



 Applicant Signature

Application Date

All applications must include the written consent of all registered owners of the subject lands, contain complete and accurate information, and include the appropriate fees. **Incomplete applications will not be processed - applications cannot be processed unless all required information has been provided.**

PART 2: APPLICATION DETAILS

Type of planning application: (please check all that apply)

- ☐ Land Use By-law Map Amendment (Rezoning): _____ Zone to _____ Zone
- ☐ Land Use By-law Text Amendment
- ☐ Development Agreement
- ☐ Substantive Development Agreement Amendment
- ☐ Non-Substantive Development Agreement Amendment
- ☐ Development Agreement Discharge

PROJECT INFORMATION

Attach detailed written description/letter of proposed use/development			
Existing Land Use(s)			
Existing Residential Units		Existing Commercial Floor Area	
Proposed Land Use(s)			
Proposed Number of Residential Units		Proposed Gross Commercial Floor Area	
Gross Floor Area of Other Land Uses (ie. industrial, institutional)			
Number of Proposed Residential Units by Type	Studio:	1-bedroom:	2+ bedrooms:
Proposed Maximum Height (in floors and metres)		Number of Buildings Proposed	
Sanitary Service Type		Water Service Type	
Total # of Proposed Parking Spaces:	Vehicle Spaces Indoor:		Vehicle Spaces Outdoor:

PROPERTY INFORMATION & ENCUMBRANCES

PID	Civic Address	Owner(s) Name
Are there any easements, restrictive covenants or other encumbrances affecting the subject land(s)? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, attach details (ie deeds, instruments etc)		

HERITAGE

Is this a registered Heritage Property? <input type="checkbox"/> Municipal <input type="checkbox"/> Provincial <input type="checkbox"/> Federal <input type="checkbox"/> No	Does this property about a registered Heritage Property? <input type="checkbox"/> Yes <input type="checkbox"/> No
Are you aware if the site contains any of the following cultural/heritage resources? <input type="checkbox"/> archaeological sites or resources <input type="checkbox"/> buildings, structures, and landscape features of historical significance or value <input type="checkbox"/> cemeteries or known burials If yes to any of the above, please provide details of any cultural or heritage resources in the written project description as required under 'Project Information' above	

Part 3: SUPPORTING INFORMATION REQUIREMENTS

Applicants are required to meet with staff before submitting an application.

1. Please contact Planning & Development to arrange of meeting with a planner.
2. Staff will review your request, confirm whether or not planning policies enable you to submit an application, and identity all supporting information requirements.
3. After receiving your application, staff will review it for completeness and advise if any further information is required.

Information Required for ALL APPLICATIONS.

- ☐ 1 copy - a written Project/Design rationale (explain the proposal and how it satisfies applicable Municipal Planning Strategy policy & relates to adjacent lands)
- ☐ 1 copy - Detailed Site and Floor Plans (*see note 1*)
- ☐ electronic versions of all information consolidated in PDF, MS Word or other specified file format

Other Required Information

Planning staff will advise which items from the following list are required as part of the application, depending on the application nature and scale. Please consult with staff before submitting your application. The need for additional information or printed copies beyond the material listed here may be identified as the application progresses through the review process.

- ☐ Latest survey plan (where available)
- ☐ Preliminary landscape plan (*note 2*)
- ☐ Design rationale (*note 3*)
- ☐ Building drawings (*note 4*)
- ☐ Application summary table (*note 5*)
- ☐ Context map (*note 6*)
- ☐ Traffic Impact Statement or Study (*note 7*)
- ☐ Shadow study (*note 8*)
- ☐ Wind impact assessment or analysis with mitigation strategy (*note 8*)
- ☐ Servicing schematic, if serviced by central sanitary, storm sewer or water systems (*note 9*)
- ☐ Legal description of property (development agreements only)
- ☐ Aerial photograph(s)
- ☐ Preliminary stormwater management plan (*note 10*)
- ☐ Building / site signage plan
- ☐ Building / site lighting plan
- ☐ Material board (*note 11*)
- ☐ Projected population density (must include calculations in accordance with applicable land use by-law)
- ☐ On-site sewage disposal system details
- ☐ Colour perspective drawings, showing proposed development and existing development from pedestrian perspectives
- ☐ Electronic Sketchup model of the proposal
- ☐ Groundwater assessment (Level 1 or 2 as required)

- ☐ Heritage impact statement (where a registered heritage property is part of development site)
- ☐ Environmental assessment (for contaminated sites)
- ☐ Large format versions of any drawings
- ☐ Any other information as deemed required by HRM _____
- ☐ Electronic versions of required materials consolidated in PDF, MS Word or other specified file format

DRAWING STANDARDS

Plans must be prepared by the appropriate qualified professionals (i.e., engineer, architect, landscape architect, surveyor, etc.) who are members in good standing with their professional associations, and are to be based on the best available and most current mapping or aerial photos. All plans are to be scalable, include a north arrow, scale, legend, and drawing/ revision dates. The type of plan (e.g. "Site Plan") must appear in a title block in the lower right portion of the drawing. Site plans, context plans, and landscape plans should be submitted in metric of a legible scale appropriate to the size of the development while imperial scaled plans shall be accepted only for building drawings, elevations, and floorplans

NOTE 1 *Detailed Site/Floor Plans*

The site plan must be at an appropriate scale and print format, and must include:

- Dimensions and area of all subject lands based on the most recent surveys and legal descriptions
- Location and names of all existing and proposed streets, registered easements, and rights-of-way,
- A key plan, compass rose, scale, property identification (PID #, lot number, and/or civic number), and name of property owner, in addition to the date and version number of the plans
- For developments involving new street construction, the same information required in the *Regional Subdivision By-law* (section 94) for Concept Plans
- The location of any municipal service boundary on the site (if applicable)
- Locations of surrounding curbs, sidewalks, and property lines
- The footprint and area of proposed buildings, setbacks from all property boundaries, and the location of any existing buildings or structures to be retained or demolished
- Existing and proposed grades and spot elevations at all building corners; (or a separate grading plan)
- Driveway locations, landscaping, bike parking, and surface parking areas
- Surface type (e.g. asphalt, gravel, sod, woodland etc.) and areas of existing vegetation to be retained
- Proposed ground sign locations

NOTE 2 *Preliminary Landscape Plan*

The preliminary landscape plan must be prepared by a Landscape Architect and provide details on:

- General description of type and location of hard and soft surface materials
- Location, size and species of existing trees (for sites in Urban Service boundary)
- Delineation of areas of existing trees to be retained
- Description or details of proposed method(s) of tree protection
- General description of proposed plant material (e.g. deciduous trees, coniferous shrubs, sod) graphically shown on the plan
- General location and type of fencing, retaining walls and site furnishings

NOTE 3 *Design Rationale*

A submission prepared by the project architect showing the consideration given to existing site conditions, topography, adjacent uses/buildings, creating a sense of place, unique natural features, heritage, etc. which resulted in the proposed site design choices.

NOTE 4 *Building Drawings*

Building drawings must be prepared by a qualified professional and include the following details:

- Height and number of storeys
- Location and measurements of all setbacks at grade and all stepbacks of upper floors
- Building materials and colours
- Pattern and size of windows
- Roof lines
- Angle controls (if applicable)
- View plane locations, where applicable
- Signage (if applicable)
- Elevation drawing of each building face
- Floor Plans with uses labelled, location, type & number of unit with uses labelled, dimensioned, and areas calculated

NOTE 5 *Application Summary Table*

A table indicating a summary of quantitative data for the project potentially inclusive of but not limited to the number of residential units broken down by their bedroom count, total commercial gross floor area, total residential gross floor area, total building gross floor area, property area, lot coverage, project floor area ratio, landscape open space, interior amenity space, vehicle parking, and bicycle parking.

NOTE 6 *Context Map*

A plan which shows the immediate context of the development site inclusive of development on adjacent lots labeled with the use and height (in storeys) of the buildings, names/addresses of existing or approved surrounding buildings, surrounding streets, registered easements, and rights-of-way, and any natural features such as lakes, rivers, ocean, ravines, etc.

NOTE 7 *Traffic Impact Statement/Study*

The traffic impact statement/study must be prepared and stamped by a Professional Engineer in accordance with the current version of HRM's *Guidelines for the Preparation of Transportation Impact Studies*. These studies may require input from the NS Department of Transportation and Infrastructure Renewal. Copies of these requirements are available upon request.

NOTE 8 *Micro Climate Conditions*

- Shadow Study which evaluates the shadow impact for various times during the day on each of the following dates: March 21, June 21, September 21 & December 21
- Wind Assessment Study/Model and a Mitigation Strategy which predicts wind impacts and advises of methods to reduce such impacts.

NOTE 9 Schematics

The Preliminary Servicing Plans must be prepared by a Professional Engineer in accordance with the *Regional Subdivision By-law, Municipal Design Guidelines, and Streets By-law* and must contain at a minimum:

For Development not requiring street construction:

- Lot layout and building footprint
- Preliminary lot grading showing grading/drainage directions (general intent)
- Driveway location(s) including dimensions as per the *Streets By-law*
- Sewer lateral locations including size
- Water lateral locations including size
- Existing trunk services that will service the property
- Preliminary sanitary flow calculations
- Preliminary storm flow calculations (pre and post development)

For Development requiring street construction:

- Proposed street and lot layout
- Proposed central services size and location & direction of flow (water, sanitary and storm)
- Proposed forcemain and pumping station locations (if required)
- Existing trunk services that will service the project
- Existing street network abutting the project
- Preliminary lot grading showing grading/drainage directions (general intent)
- Preliminary sanitary flow calculations
- Preliminary storm flow calculations (pre and post development)

The level of detail shown on servicing schematics must be relative to the scale of the development. The above represents minimum standards acceptable for typical planning applications. Any requested variances from the requirements of the Municipal Design Guidelines or Streets By-law must be identified and explained.

NOTE 10 Preliminary Stormwater Management Plan/Drainage Plan

These plans must be prepared and stamped by a Professional Engineer in accordance with the *Municipal Service Systems Design Guidelines*, any applicable provincial requirements, and HRM's *Regional Subdivision By-law*.

NOTE 11 Material Board

A board 11x17 in size including samples (or, where impractical, pictures of materials) of all proposed building materials as well as glazing inclusive of colour and tint.

PART 4: FEES

Fee Description	Application Fee	Advertising Deposit*	Total Application Cost Submission
Land Use By-law Amendment	\$3,000	\$2,000	\$5,000
Land Use By-law Amendment along with a Development Agreement	\$4,000	\$2,500	\$6,500
Development Agreement	\$3,000	\$2,500	\$5,500
Discharge of a Development Agreement (in whole or in part)	\$500	N/A	\$500
Amendments to Development Agreements unless all the amendments are listed as non-substantive in the development agreement	\$4,000	\$2,500	\$6,500
Amendments to Development Agreements where all the amendments are listed as Non-Substantive	\$3,000	\$2,000	\$5,000

*Where advertising costs differ from the deposit, the balance will be charged or refunded to the applicant.

All fees are to be made payable to Halifax Regional Municipality.

Please submit your application to the following location

By Mail:	Planning Applications Planning & Development Alderney Gate Office PO Box 1749 Halifax, NS B3J 3A5
By Courier / In Person:	HRM Customer Service Centre 40 Alderney Drive, 1st Floor Dartmouth tel: (902) 490-4472



09-08-2021

To: Carl Purvis,
Planning Applications Program Manager
Current Planning/ Planning & Development

RE: 216 Cobequid Rd, Lower Sackville - Substantive amendment to Development Agreement

Dear, Carl

Pertaining to Permit Application # BP-2021-005582
To Construct 33-unit residential building with commercial offices on main level.
We would like to reinstate the balconies.

Previously the balconies were abutting onto the adjoining property PID 41257940 on the North side of the building and were removed as per the DA for permitting.

Our client has purchased the property adjacent to the 216 Cobequid property. The PID of this parcel is PID 41257940.

We would like to amend the Development Agreement to include this land parcel and allow for the balconies.

Sincerely,

Melissa MacRae
e melissa.macrae@tealarchitects.com
m [902.221.6173](tel:902.221.6173) |

TEAL Architects+Planners

ALL BEARINGS AND DISTANCES ARE GRID DERIVED FROM NRTK GNSS OBSERVATION TO NSHPN 200054, REFERENCED TO THE NOVA SCOTIA 3° MODIFIED TRANSVERSE MERCATOR PROJECTION, ZONE 5, CENTRAL MERIDIAN 64°30' W; BASED ON THE HORIZONTAL REFERENCE FRAME NAD83 (CSRS), EPOCH 2010.0.

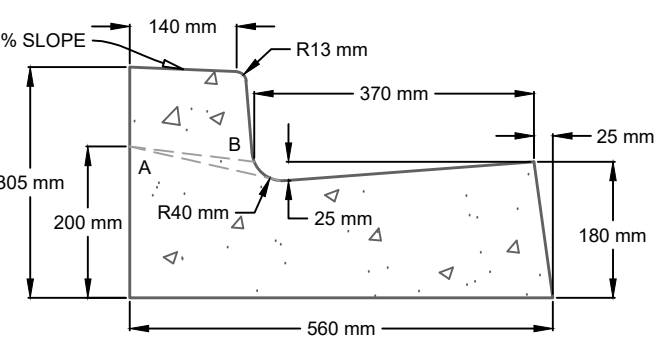
ELEVATIONS ARE REFERENCED TO NSHPN 200054, HAVING AN ELEVATION OF 59.373 METRES (CGVD2013).

FIELD SURVEYS WERE CARRIED OUT ON JANUARY 14, 2020



TYPICAL CURB DETAIL

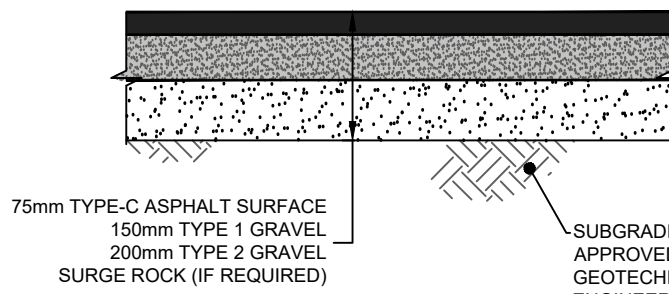
N.T.S



NOTES:
LINE A INDICATES CURB AT PEDESTRIAN RAMPS
LINE B INDICATES CURB AT DRIVEWAYS

TYPICAL ASPHALT STRUCTURE

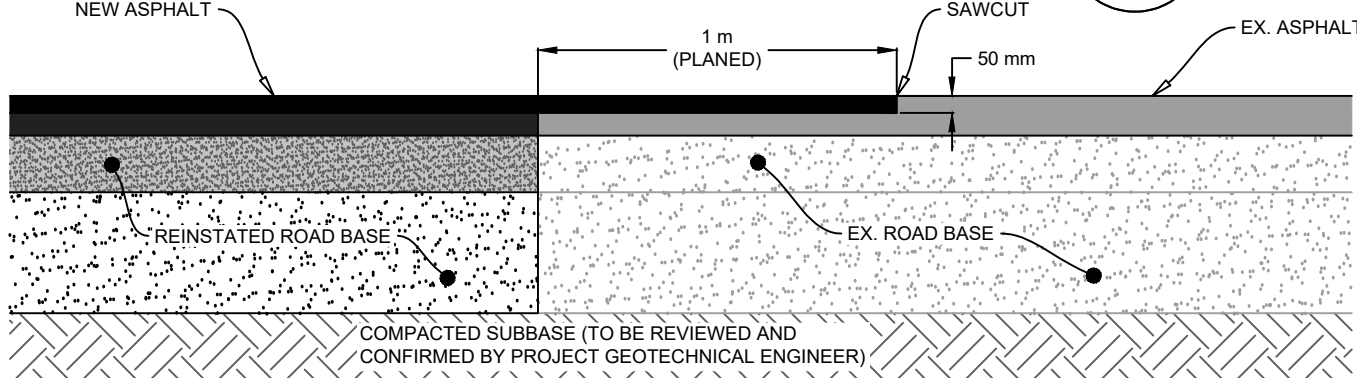
N.T.S



NOTE:
REFER TO PROJECT GEOTECHNICAL REPORT FOR PLACEMENT
AND COMPACTION DETAILS, ASPHALT AND GRAVEL THICKNESS
TO BE REVIEW AND CONFIRMED BY PROJECT GEOTECHNICAL
ENGINEER PRIOR TO CONSTRUCTION.

PAVEMENT REINSTATEMENT DETAIL

N.T.



1. **SAFETY IS PARAMOUNT AND THE CONTRACTOR MUST USE SAFE WORK PRACTICES IN ACCORDANCE WITH THE NOVA SCOTIA OCCUPATIONAL HEALTH AND SAFETY ACT.**

2. ALL WORKS TO BE IN ACCORDANCE WITH HALIFAX WATER DESIGN AND CONSTRUCTION SPECIFICATIONS AND HALIFAX REGIONAL MUNICIPALITY STANDARDS (CURRENT EDITIONS).

3. ALL WORKS TO BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATION FOR MUNICIPAL SERVICES" PREPARED JOINTLY BY THE NOVA SCOTIA ROADBUILDERS ASSOCIATION AND THE CONSULTING ENGINEERS OF NOVA SCOTIA (CURRENT EDITION).

4. ALL WORKS TO BE IN ACCORDANCE WITH REQUIREMENTS OF ALL PERMITS AND REGULATIONS AS ISSUED BY THE NOVA SCOTIA DEPARTMENT OF ENVIRONMENT.

5. CONTRACTOR TO NOTIFY DESIGNPOINT, HALIFAX REGIONAL MUNICIPALITY, AND HALIFAX WATER REGARDING CONSTRUCTION SCHEDULING PRIOR TO ANY WORK.

6. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF NATURAL WATERCOURSES FROM DAMAGE DUE TO SILT LAND RUNOFF FROM THE CONSTRUCTION SITE. ACCEPTABLE CONSTRUCTION PROCEDURES MAY BE OBTAINED FROM EROSION AND SEDIMENTATION CONTROL MANUALS.

7. ALL DISTURBED AREAS NOT STABILIZED BY GRAVEL, ASPHALT, CONCRETE, OR SOIL ARE TO BE STABILIZED WITH 100mm TOPSOIL AND HYDROSEEDED. HYDROSEEDED AREAS TO BE COVERED WITH HALF MULCH (MIN. 350 kg/ha). HYDROSEEDED AREAS THAT DO NOT SHOW EVIDENCE OF GROWTH WITHIN 12 MONTHS TO BE RESEEDING.

8. MATERIALS SHALL NOT BE SUBSTITUTED UNLESS PRIOR APPROVAL IS PROVIDED BY THE ENGINEER.

9. SHOP DRAWINGS TO BE PROVIDED FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO CONSTRUCTION.

10. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM WORKS AND TO COMPLY WITH ALL PERMIT REQUIREMENTS AND CONDITIONS.

11. LOCATIONS OF EXISTING INFRASTRUCTURE IS BASED ON BEST AVAILABLE INFORMATION, INCLUDING RECORD INFORMATION. CONTRACTOR TO CONDUCT SURVEY OF EXISTING INFRASTRUCTURE AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.

12. CONTRACTOR TO ALLOW A 1 WEEK REVIEW PERIOD TO THE ENGINEER.

13. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SUCH AS HERITAGE GAS, NOVA SCOTIA POWER, BELL ALLIANT, EASTLINK, AND HALIFAX WATER. CONTRACTOR TO VISIT CLICKFORGE.YOUBID.COM TO REQUEST LOCATIONS PRIOR TO COMPLETING ANY EXCAVATION.

14. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND REGULATIONS FOR WORKING AROUND LIVE GAS MAINS.

15. PERMISSION FROM LANDOWNERS REQUIRED TO WORK ON PRIVATE PROPERTY.

16. CONTRACTOR TO NOTIFY PROPERTY OWNERS WHO WILL EXPERIENCE DISRUPTION DURING WORK (PROPERTY ACCESS, MUNICIPALITY ACCESS, ETC.) PRIOR TO CONSTRUCTION.

17. ALL ELEVATIONS ARE METRIC AND GEODETIC. TOPOGRAPHICAL SURVEY COMPLETED BY DESIGNPOINT ON JANUARY 14, 2020.

18. CONTRACTOR TO CONTACT DESIGNPOINT FOR CONSTRUCTION LAYOUT CONTROL, INFORMATION 2 WEEKS PRIOR TO CONSTRUCTION.

19. ALL EXCAVATIONS TO BE PROTECTED BY SHIELDING, SHIELDING TO BE PROTECTED BY TREATMENT (INCLUDING GRAVELS, ASPHALT, AND CONCRETE) TO BE REVIEWED AND CERTIFIED BY PROJECT GEOTECHNICAL ENGINEER.

20. DRAWINGS SUBJECT TO CONSTRUCTION APPROVAL BY THE APPLICABLE APPROVAL AGENCIES (i.e. HALIFAX WATER, NOVA SCOTIA, AND HERITAGE GAS).

21. CONTRACTOR RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES REQUIRED FOR THE PROJECT. ALL TEMPORARY TRAFFIC CONTROL MEASURES TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NOVA SCOTIA TRANSPORTATION AND INFRASTRUCTURE RENEWAL PROGRAM (CURRENT EDITION) AND THE LATEST EDITION OF THE TRANSPORTATION ASSOCIATION OF CANADA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR CANADA.

22. INSULATION TO BE 50mm THICK HD40 RIGID STYROFOAM (ROAD AND TRAFFIC RATED).

23. CONTRACTOR TO REQUEST PERMITS FOR ROAD CLOSURES BY ENGINEER AND APPLICABLE APPROVAL AGENCIES AND PROVIDE A COPY TO THE ENGINEER PRIOR TO REVIEW AND APPROVAL.

24. CONTRACTOR RESPONSIBLE FOR COSTS ASSOCIATED WITH DRAWING REVISIONS AND APPROVALS.

25. ALL TEMPORARY ROAD CLOSURES WILL REQUIRE A ROAD CLOSURES PERMIT.

26. TO ENFORCE ROAD CLOSURES, CONTRACTOR TO PROVIDE A C4VTV INSIGNIA AND REPORT TO THE ENGINEER.

27. ALL TESTING OF SEWERS TO BE IN ACCORDANCE WITH HALIFAX WATER SPECIFICATIONS, INCLUDING MANHOLE VAPOR TEST, PRESSURE TEST TO BE COMPLETED FOR ENTIRE PIPE LENGTH. TEMPORARY END CAPS TO BE INSTALLED AS REQUIRED TO FACILITATE TESTING.

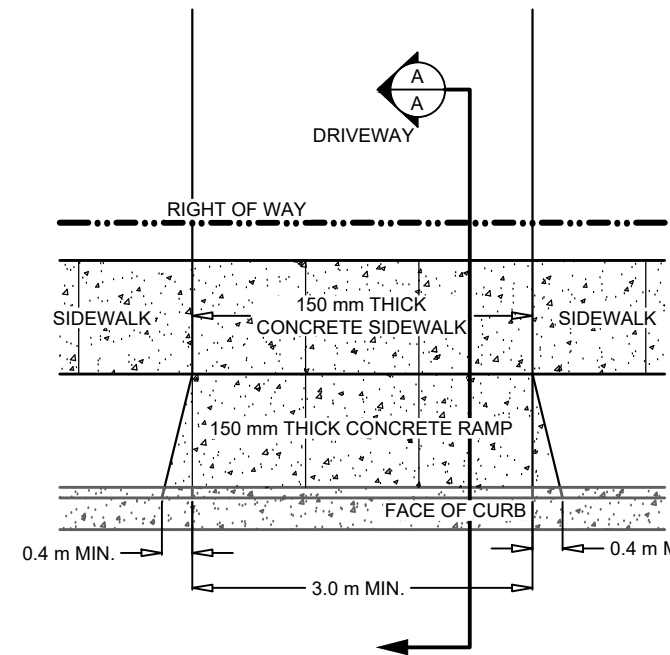
28. ALL GRAVITY PIPES TO BE 150mm OR LARGER. ALL SPECIFIC GRAVITY PIPES TO BE 150mm OR LARGER. PRESSURE TEST AND CHLORINATION FOR ALL SERVICE LATERALS 100 mm Ø AND LARGER. BEND LIFT OF GRAVEL TO BE PLACED OVER WATER MAINS AND SERVICES PRIOR TO TESTING (PUBLIC AND PRIVATE INFRASTRUCTURE).

29. ANY FIELD MANHOLE CONNECTIONS (IF REQUIRED) TO BE MADE USING CORE DRILL AND KOR-N-SLIP (SUBJECT TO APPROVAL BY UTILITY AND ENGINEER).

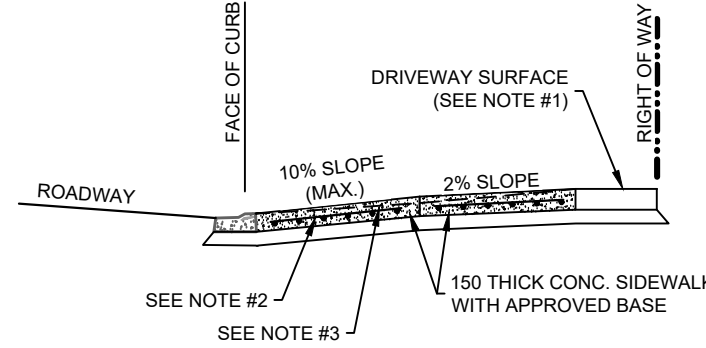
30. ALL GRAVITY PIPE TO BE INSTALLED IN AN UPSTREAM DIRECTION. CONTRACTOR TO BEGIN PIPE INSTALLATION AT THE MOST REMOTE LOCATION. INSTALLING TEMPORARILY ORPHANED PIPE SECTIONS IS NOT ACCEPTABLE (UNLESS APPROVED BY THE UTILITY AND THE ENGINEER).

TYPICAL DRIVEWAY RAMP DETAIL

N.T.S.



SECTION A-A



NOTES:

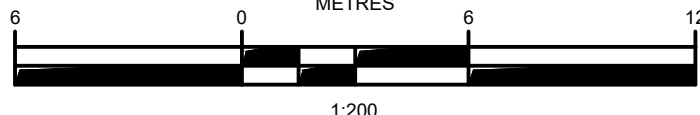
1. IF DRIVEWAY SURFACE IS GRAVEL, THIS SHALL BE ASPHALT CONCRETE.
2. FOR COMMERCIAL AND INDUSTRIAL DRIVEWAYS PLACE 150x150 - M.W. 18.7 x M.W. 18.7 PLACED 50 mm FROM BOTTOM OF CONCRETE RAMP AND SIDEWALK.
3. SIDEWALK SHALL BE LESS THAN 1.5 m OR WHEN THE SIDEWALK ABUTS THE CURB & GUTTER, SLOPE SIDEWALK IN A STRAIGHT LINE GRADE FROM BACK OF SIDEWALK TO LIP ON CURB OPENING.
4. MINIMUM DISTANCE BETWEEN CONTROL JOINTS IS 1200 mm. PROVIDE CONTROL JOINTS WITHIN 150 OF CHANGE IN CROSS SECTION CURB



LEGEND

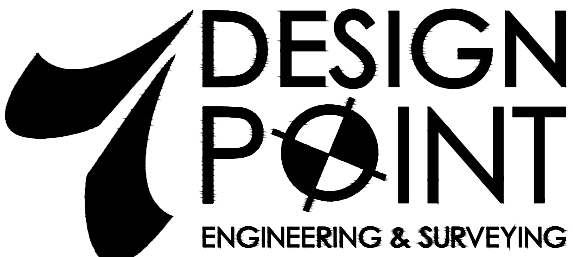
EXISTING		PROPOSED	
-----		-----	
VERTICAL PROFILE		-----	
APPROXIMATE 1 IN 100 YEAR FLOOD LIMIT		100 YR	
-----		-----	
EASEMENT		-----	
-----		-----	
WATER		WATER	
-----		-----	
SAE		SA SA	
-----		-----	
ST		ST	
-----		-----	
GAS		GAS	
-----		-----	
WATER LATERAL		-----	
-----		-----	
SANITARY LATERAL		-----	
-----		-----	
STORM LATERAL		-----	
-----		-----	
NATURAL GAS LATERAL		-----	
-----		-----	
SIDEWALK		-----	
-----		-----	
WALKWAY/A.T. TRAIL		-----	
-----		-----	
GUARDRAIL		-----	
-----		-----	
TOP OF SLOPE		-----	
-----		-----	
BOTTOM OF SLOPE		-----	
-----		-----	
FENCELINE		-----	
-----		-----	
EXISTING		PROPOSED	
CURB CUT/RAMP	-----	AIR RELEASE VALVE	-----
CURBSTOP	-----	WATER VALVE	-----
REDUCER	-----	HYDRANT	-----
PRECAST HEADWALL	-----	CATCHBASIN	-----
STREET SIGN	-----	UTILITY POLE w/ GUY WIRE	-----
STREET TREE	-----	GLB	-----
	-----	URD	-----

ISSUED FOR
PERMIT, NOT FOR
CONSTRUCTION



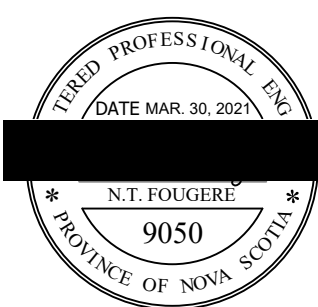
2	MAR. 30, 2021	ISSUED FOR PERMIT
1	AUG. 13, 2020	ISSUED FOR COORDINATION
ISSUE	DATE	DESCRIPTION

CONSULTANT



PHONE: 902.832.5597

www.designpoint.ca



CLIENT



PROJECT DESCRIPTION

216 COBEQUID ROAD SERVICING

LOWER SACKVILLE, NOVA SCOTIA

SHEET DESCRIPTION

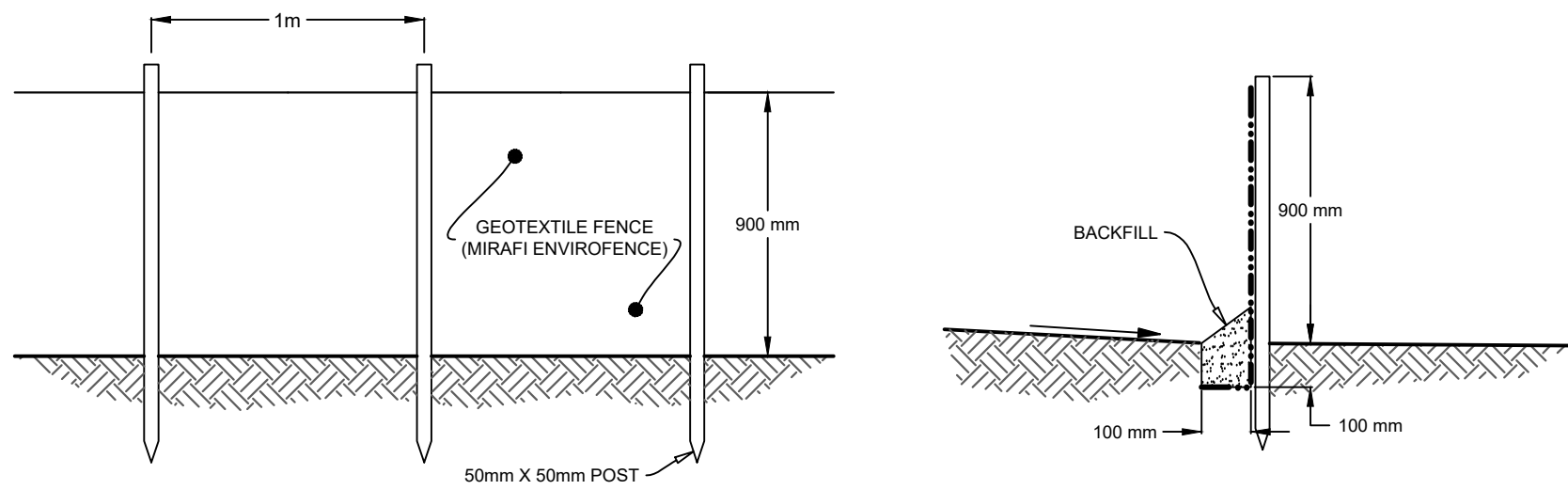
SITE & GRADING PLAN

Drawn T. ARMOUR	Engineer N. FOUGERE	Project No. 19-242	Drawing No. C-101 1 of 4
Scale 1:200	Filename 19-242_Base.dwg		

SILT FENCE DETAIL

A
2

N.T.S.



FLOW COMPARISON						
	2 YEAR RETURN (L/s)	5 YEAR RETURN (L/s)	10 YEAR RETURN (L/s)	25 YEAR RETURN (L/s)	50 YEAR RETURN (L/s)	100 YEAR RETURN (L/s)
PRE- DEVELOPMENT	15.9	21.7	25.5	30.4	33.9	37.5
POST- DEVELOPMENT	17.0	22.9	26.8	31.7	35.3	38.8

NOTE:

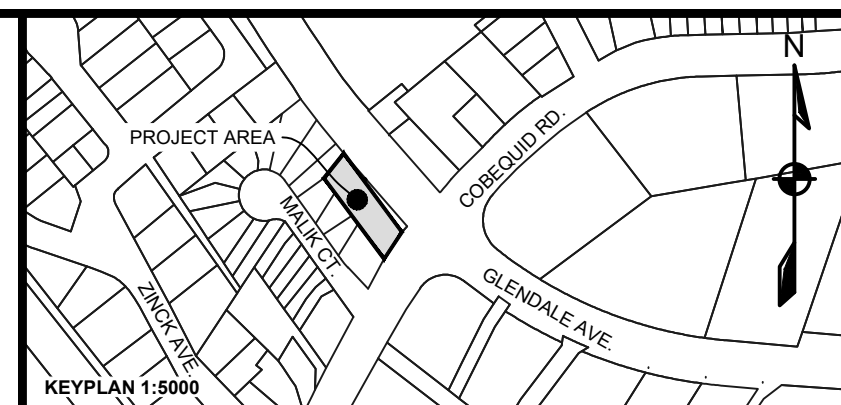
- DESIGN FLOW BASED ON SCS WATERSHED RUNOFF MODEL WITH SYNTHETIC DESIGN STORM AS PER HALIFAX WATER 2018 SPECIFICATIONS. 24 HR RAINFALL DEPTHS AS FOLLOWS:
 - 2 YEAR RETURN: 67 mm
 - 5 YEAR RETURN: 79 mm
 - 10 YEAR RETURN: 87 mm
 - 25 YEAR RETURN: 97 mm
 - 50 YEAR RETURN: 104 mm
 - 100 YEAR RETURN: 111 mm
- MANNING'S 'n' FOR PIPE CAPACITY = 0.013 FOR CONCRETE OR 0.010 FOR PVC

SITE SURFACE COVERAGE (PRE)

SURFACE TYPE	AREA (m ²)
GRAVEL	104.1
ROOF	365.6
PAVEMENT	710.4
LANDSCAPING	314.3

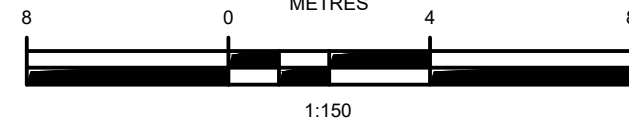
SITE SURFACE COVERAGE (POST)

SURFACE TYPE	AREA (m ²)
ROOF	1062.4
PAVEMENT	267.4
LANDSCAPING	169.6



LEGEND

EXISTING		PROPOSED
10	MAJOR CONTOUR	10
10	MINOR CONTOUR	10
---	EASEMENT	---
---	RIGHT OF WAY	---
---	LOT LINE	---
---	SILT FENCE	---
---	RUMBLE STRIP	---
---	PRECAST HEADWALL	---
---	CATCHBASIN	---
---	FLOW ARROW	---
---	CURB CUT	---

ISSUED FOR
PERMIT, NOT FOR
CONSTRUCTION

ISSUE	DATE	DESCRIPTION
2	MAR. 30, 2021	ISSUED FOR PERMIT
1	AUG. 13, 2020	ISSUED FOR COORDINATION

CONSULTANT

DESIGN POINT
ENGINEERING & SURVEYING

PHONE: 902.832.5597 www.designpoint.ca

CLIENT

TEAL

PROJECT DESCRIPTION

**216 COBEQUID ROAD
SERVICING**

LOWER SACKVILLE, NOVA SCOTIA

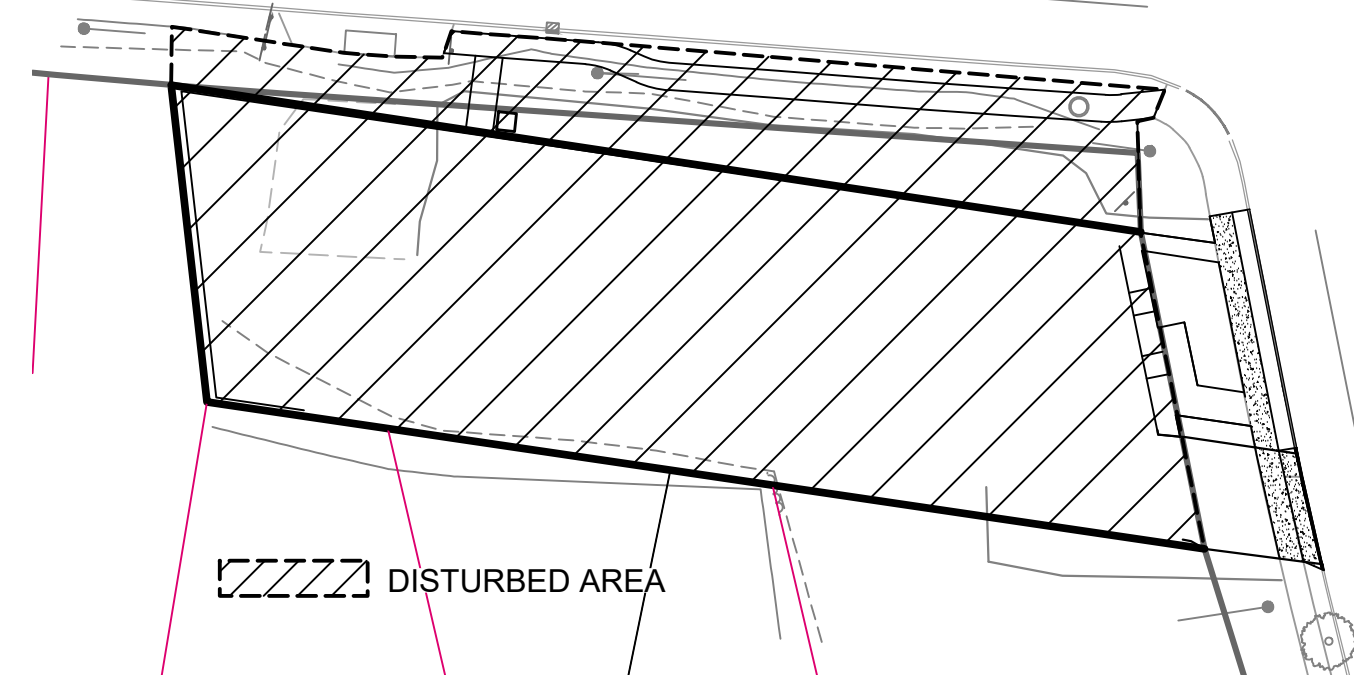
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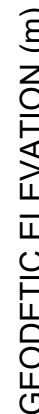
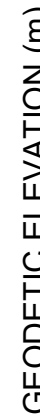
**SITE GRADING PLAN, EROSION AND
SEDIMENT CONTROL PLAN, AND
STORMWATER MANAGEMENT PLAN**

Drawn: T. ARMOUR
Engineer: N. FOUGERE
Project No: 19-242
Scale: 1:150
Filename: 19-242_Base.dwg
Drawing No: C-102
2 of 4

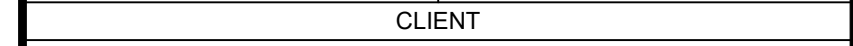
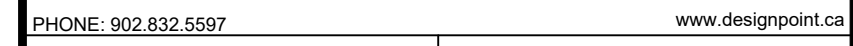
GENERAL EROSION AND SEDIMENT CONTROL NOTES

- EXPOSED SOIL TO BE MINIMIZED AT ALL TIMES DURING CONSTRUCTION TO LIMIT SEDIMENT LADEN RUNOFF. THIS IS TO BE ACCOMPLISHED BY COMPLETING ALL WORK IN A GIVEN AREA ONCE EXCAVATION HAS BEGUN BEFORE DISTURBING ADDITIONAL SOIL. CONTRACTOR IS TO BE AWARE OF CURRENT WEATHER FORECASTS AND PLAN SOIL STABILIZATION ACCORDINGLY.
- ALL WORKS TO BE IN ACCORDANCE WITH NOVA SCOTIA DEPARTMENT OF ENVIRONMENT REQUIREMENTS.
- CONTRACTOR TO ACQUIRE ALL PERMITS REQUIRED TO PERFORM WORK AND TO COMPLY WITH ALL PERMIT REQUIREMENTS DURING CONSTRUCTION.
- CONTRACTOR TO PROTECT NATURAL WATERCOURSES FROM SILT LADEN RUNOFF FROM CONSTRUCTION SITE. CONSTRUCTION PROCEDURES CAN BE FOUND IN THE CURRENT EDITION OF "EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION SITES" BY THE NOVA SCOTIA DEPARTMENT OF ENVIRONMENT.
- CONTRACTOR TO ENSURE THAT ALL EXPOSED AREAS ARE STABILIZED PRIOR TO RAINFALL EVENTS BY CHECKING ENVIRONMENT CANADA FORECASTS (https://weather.gc.ca/canada_e.html).
- CONTRACTOR TO PERFORM WEEKLY INSPECTIONS OF SEDIMENT CONTROL MEASURES AND MAKE REPAIRS AS NEEDED. ADDITIONAL INSPECTION AND REPAIR TO BE CARRIED OUT BEFORE AND AFTER ANY RAINFALL EXCEEDING 10mm. A LOG OF EACH INSPECTION AND REPAIR IS TO BE KEPT ALONG WITH A WEEKLY REPORT OF EXPOSED AREAS.
- TRIBUTARY STORM RUNOFF FROM SITE TO BE DIRECTED INTO SEDIMENT CONTROL DEVICES DURING CONSTRUCTION.
- CONTRACTOR TO CONSTRUCT AND MAINTAIN DIVERSION DITCHES THROUGH AND AROUND THE SITE TO MINIMIZE CONTAMINATION OF CLEAN WATER.
- CONTRACTOR TO HAVE ADDITIONAL SEDIMENT CONTROL MEASURES ON SITE INCLUDING SILT FENCE, BALED HAY, AND LOOSE HAY/MULCH TO MAINTAIN OR INSTALL CONTROL MEASURES AS REQUIRED.
- EXPOSED SURFACES TO BE COVERED WITH HAY, MULCH, OR WOOD CHIPS TO LIMIT SEDIMENT RUNOFF.
- CONTRACTOR MAY SUBSTITUTE WOOD CHIP BERM FOR SILT FENCE IN ROCKY AREAS WHERE SILT FENCE CANNOT BE INSTALLED.
- SEDIMENTATION BERMS AND PONDS TO REMAIN IN SERVICE UNTIL PROJECT ENGINEER OR THE MUNICIPALITY REQUESTS THEIR REMOVAL. THIS WILL ONLY OCCUR AFTER LOT AND BUILDING CONSTRUCTION IS COMPLETE.
- SEDIMENTATION BERMS AND PONDS TO BE REMOVED IN THE FOLLOWING ORDER. LEVEL OFF BERMS, HYDROSEED AND COVER ALL EXPOSED AREAS WITH HAY, THEN FILL IN PONDS.
- UPON COMPLETION OF GRADING ACTIVITY, ALL LOT DRAINAGE EASEMENTS ARE TO BE HYDROSEED AND MULCHED.
- TOPSOIL AND HYDROSEED TO BE PLACED ON ALL AREAS NOT FINISHED WITH ASPHALT, CONCRETE, GRAVEL, OR SOD.
- ACCESS ROADS TO SITE ARE TO BE MAINTAINED WITH CLEAN GRAVEL APPLIED PERIODICALLY TO COVER MUDDY AREAS. CLEANING OF ADJACENT STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AS DIRECTED BY THE ENGINEER.
- VEHICLE ACCESS TO CONSTRUCTION SITE TO BE RESTRICTED.
- STABILIZE ON-SITE STOCKPILES USING APPROPRIATE MEASURES (SILT FENCE, HAY, TARPS, ETC.).
- SITE ACTIVITY TO ADHERE TO REQUIREMENTS OF HALIFAX REGIONAL MUNICIPALITY TOPSOIL BY-LAW.
- ALL SEDIMENT CONTROL MEASURES TO BE OPERATIONAL OVER ENTIRE CONSTRUCTION PERIOD.
- SEDIMENTATION AND EROSION CONTROL MEASURES ARE SUBJECT TO CHANGE. ADDITIONAL MEASURES MAY BE REQUIRED DEPENDING ON SITE CONDITIONS DURING CONSTRUCTION.

CONTRACTOR TO OBTAIN PERMISSION TO
DISTURB ADJACENT LANDS FROM PROPERTY
OWNERS PRIOR TO CONSTRUCTIONAPPROX. LIMITS OF DISTURBANCE
(1:500)



CONSULTANT



	PROJECT DESCRIPTION

PROJECT DESCRIPTION	

216 CORBOLIND ROAD

210 COBEQUID ROAD
 STEWARTON, ONT.

SERVICING

1. *Journal of the American Medical Association*, 2000; 283: 2689-2693.

LOWER SACKVILLE, NOVA SCOTIA

SHEET DESCRIPTION	

SITE SERVING PLAN

SITE SERVICING PLAN

Drawn	Engineer	Project No	Drawing No
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Drawn: T. ARMOUR	Engineer: N. FOUGERE	Project No.: 19-242	Drawing No.: 2-122
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Scale	Filename	C-103
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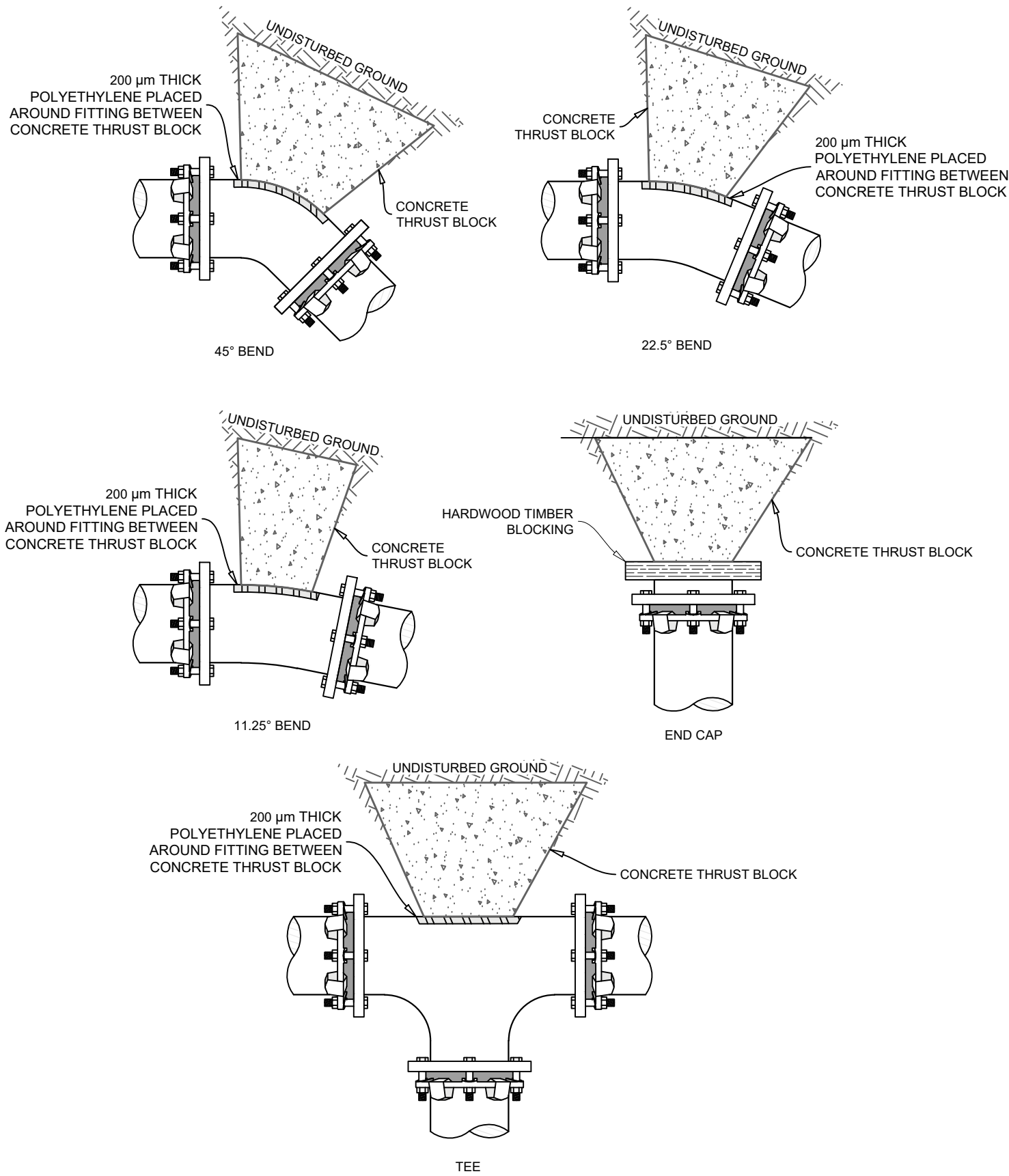
1:200 H, 1:20 V	19-242_Base.dwg	3 OF 4
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THRUST BLOCK DETAILS

A
4

N.T.S.

DUCTILE IRON CL52 MECHANICAL JOINT FITTINGS

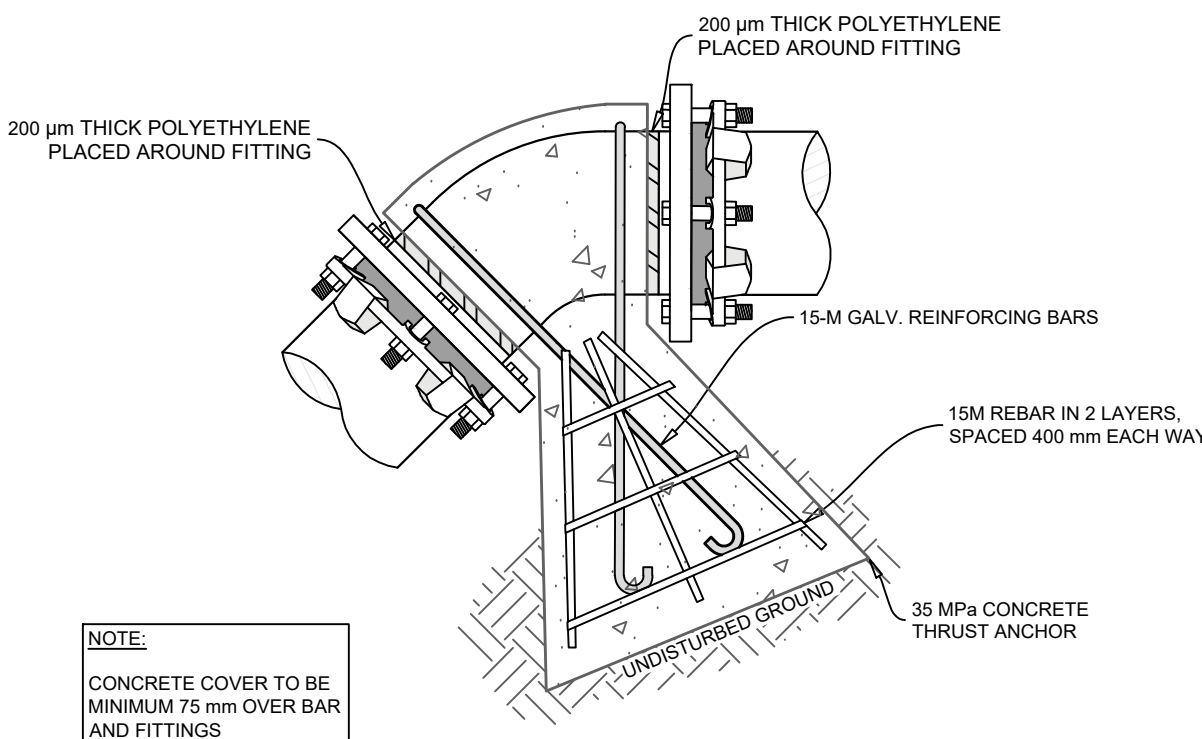


MINIMUM THRUST BLOCK CONTACT AREA (m²)					
BASED ON SOIL BEARING CAPACITY OF 100 kPa AND INTERNAL PIPE PRESSURE OF 1035 kPa.					
PIPE DIAMETER (mm)	CAP	TEE	45° BEND	22.5° BEND	11.25° BEND
100	0.25	0.25	0.20	0.16	0.16
150	0.48	0.48	0.40	0.24	0.16
200	0.80	0.80	0.64	0.32	0.16
250	1.28	1.28	0.96	0.48	0.24
300	1.76	1.76	1.44	0.72	0.40
350	2.40	2.40	1.96	0.96	0.54
400	3.13	3.13	2.56	1.28	0.71

THRUST ANCHOR DETAIL

B
4

N.T.S.

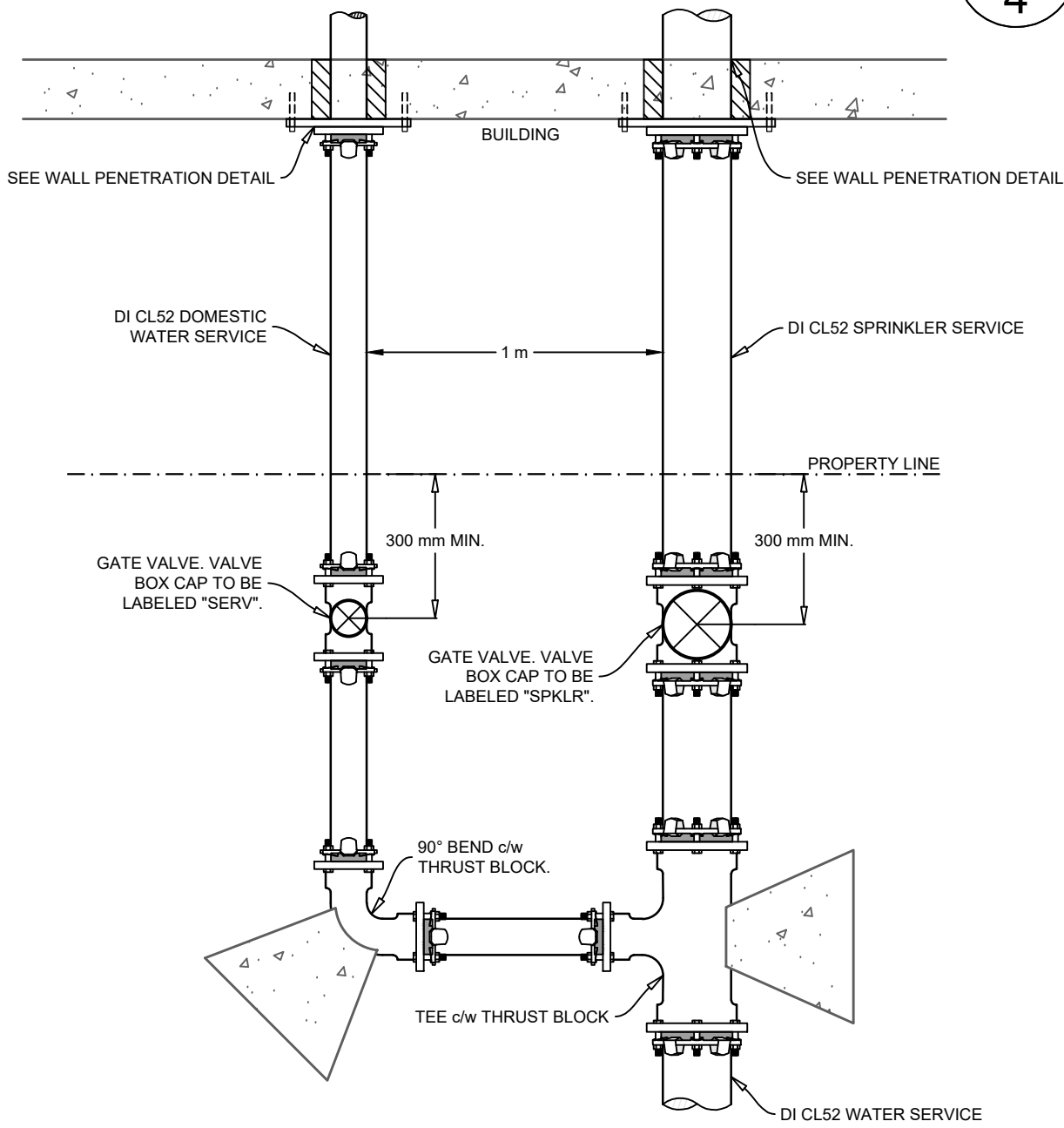


MINIMUM VOLUME OF CONCRETE (m³)			
BASED ON INTERNAL PIPE PRESSURE OF 1035 kPa.			
PIPE DIAMETER (mm)	45° BEND	22.5° BEND	11.25° BEND
150	0.80	0.40	0.40
200	1.40	0.70	0.70
250	2.10	1.10	1.10
300	3.00	1.50	1.50
400	5.00	3.00	2.00

WATER AND SPRINKLER SERVICE CONNECTION

C
4

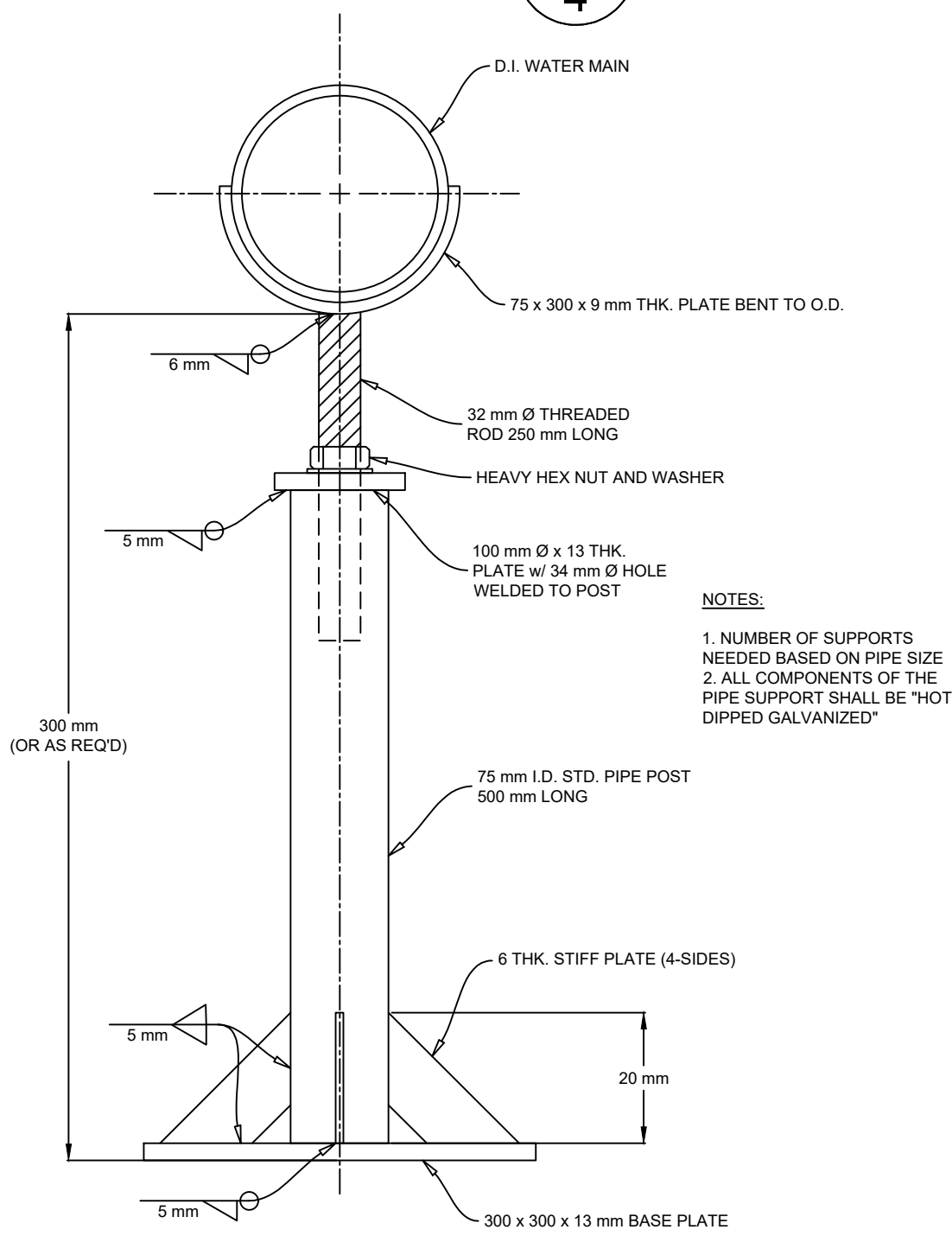
N.T.S.



PIPE SUPPORT DETAIL

E
4

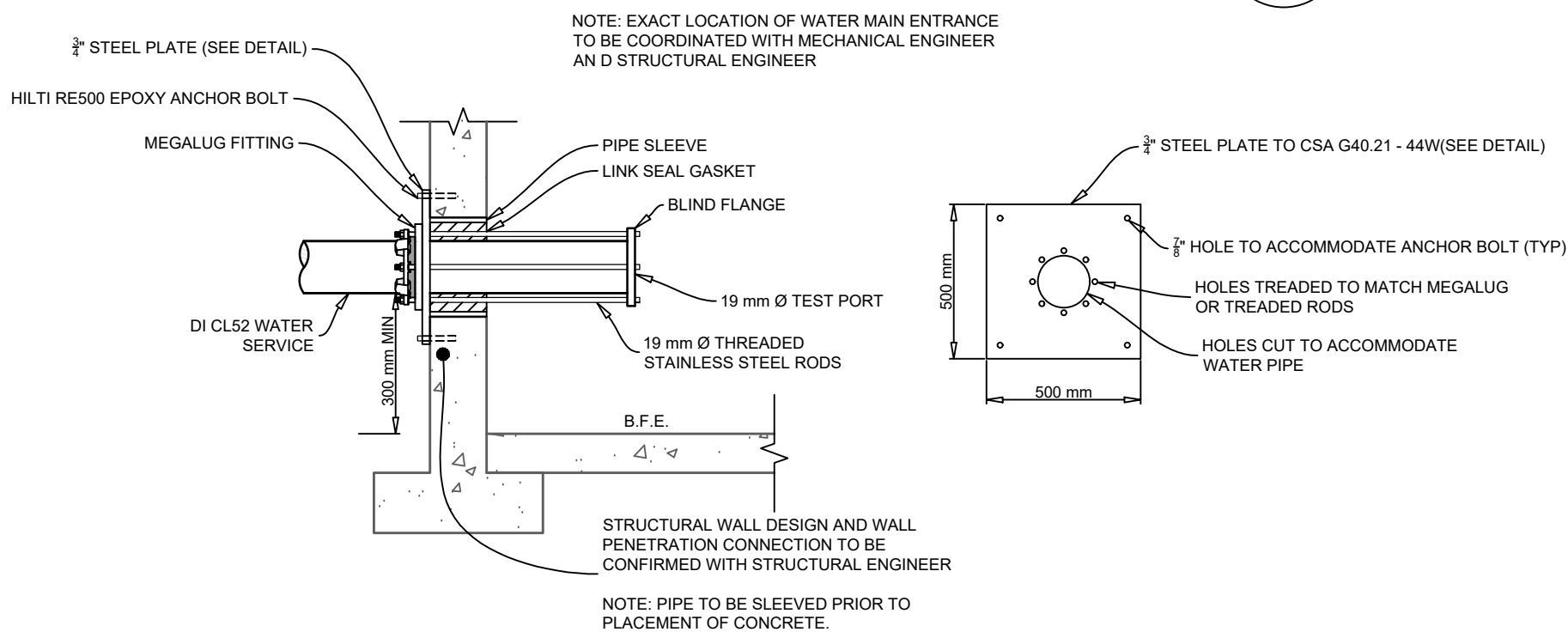
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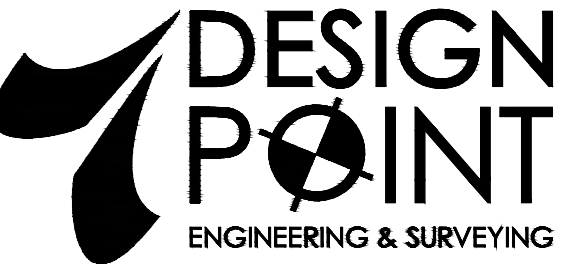


WATER SERVICE WALL PENETRATION DETAIL

D
4

N.T.S.



ISSUED FOR
PERMIT, NOT FOR
CONSTRUCTION

2	MAR. 30, 2021	ISSUED FOR PERMIT
1	AUG. 13, 2020	ISSUED FOR COORDINATION
ISSUE	DATE	DESCRIPTION
CONSULTANT		
 PHONE: 902.832.5597 www.designpoint.ca		
		
CLIENT		
		
PROJECT DESCRIPTION		
216 COBEQUID ROAD SERVICING LOWER SACKVILLE, NOVA SCOTIA		
SHEET DESCRIPTION		
CONSTRUCTION DETAILS		
Drawn T. AMROUR	Engineer N. FOUGERE	Project No. 19-242
Scale N.T.S.	Filename 19-242_Base.dwg	Drawing No. C-104 4 of 4



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DRAWING LIST

- CIVIL
- C-101
- C-102
- C-103
- C-104
- SITE & GRADING PLAN
- SITE GRADING PLAN, EROSION AND SEDIMENT CONTROL
- PLAN, AND STORMWATER MANAGEMENT PLAN
- SITE SERVICING PLAN
- CONSTRUCTION DETAILS

- STRUCTURAL
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- S107
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- S501
- S502
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- SLAB PLAN LEVEL 1
- SLAB REBAR PLAN LEVEL 1
- SLAB PLAN LEVEL 2
- SLAB REBAR PLAN LEVEL 2
- FLOOR FRAMING PLAN LEVEL 3
- FLOOR FRAMING PLAN LEVEL 4
- ROOF FRAMING PLAN
- CONCRETE DETAILS
- CONCRETE DETAILS
- TIMBER FRAMING DETAILS & CMU WALL SCHEDULE

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- WALL SECTIONS
- ELEVATOR & STAIR PLANS / SECTIONS
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- LV.1 WASHROOMS, KITCHENETTE & MAILBOXES
- FENCES, RAILS & GUARDRAIL ELEVATIONS AND DETAILS
- UNIT LAYOUTS A, B1, B2 & B3
- UNIT LAYOUTS C, D, E & F
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- DETAIL SECTIONS
- PLAN
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- WINDOW ELEVATIONS

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- LEVELS 1-2 LIGHTING
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- TYPICAL UNIT LAYOUTS (1OF3)
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- TYPICAL UNIT LAYOUTS (3OF3)
- SCHEMATICS & DETAILS (1OF2)
- SCHEMATICS & DETAILS (2OF2)
- PANEL SCHEDULES
- EQUIPMENT SCHEDULE
- E
- E



216 Cobequid

Architectural for Construction

2021-05-17

OWNER:
FH Development Group

1.1 CODE ANALYSIS

The code analysis is based on information provided on floor plan drawings dated 2021-01-18. The code references provided in this document include:

- 2015 National Building Code of Canada (NBCC);
- Nova Scotia Building Code Regulations (NSBCR), and
- 2015 National Fire Code of Canada (NFCC).

1.1.1 BUILDING CLASSIFICATION

The building requirements of Subsection 3.2.2. of the NBCC for intended use of this building, of Group C Residential Occupancy. The NBCC reference is Article 3.2.2.51. The building is a 4 storey building having a footprint area of 1037m².

1.1.2 FIRE SEPARATION, CLOSURE, AND RATING REQUIREMENTS

The fire-resistance ratings of the fire separations will conform to CAN/ULC-S101: Fire Endurance Tests of Building Construction and Materials. The assembly design is required to be a ULC or cUL listed assembly. The following table outlines the fire-resistance ratings of the construction assembly locations and corresponding references.

- Floor Assemblies: Fire Separation of 1hr [3.2.2.51.]
- Loadbearing walls and columns: Fire Resistance 1hr [3.2.2.51]
- Exit Enclosure: Fire Separation 1hr [3.4.4.1.]
- Exit Lobby: Fire Separation at Garbage room & Exit stair 1hr [3.4.4.2.]
- Residential Corridors: Fire Separation 1hr [3.3.4.2.]
- Residential Suites: Fire Separation 1hr [3.3.4.2.]
- Elevator Shaft: Fire Separation 1hr [3.5.3.1.]
- Elevator Machine Room: Fire Separation 1hr [3.5.3.3.]
- Service Shafts: Fire Separation 45min [3.5.3.1.]
- Service room containing a fuel- fired appliance: Fire Separation 1h [3.6.2.1.]
- Interior Refuse / Garbage Room: Fire Separation 1h rand sprinkler protection [3.6.2.5.]
- Main Electrical Room: Separation 1hr [3.6.2.1.6.]
- Storage Garage (parking): 1.5hrs [3.3.5.6]

The fire-protection ratings of the fire separations will conform to NFPA 80: Standard for Fire Doors and Other Opening Protectives, in accordance with NBCC Sentence 3.1.8.5 (2). The closures for this design include doors and smoke/fire dampers.

The following table outlines the required fire-protection rating of the closures in the fire separations and corresponding references.

- Fire-resistance rating of 45min: Fire protection rating of 45min [3.1.8.4.]
- Fire-resistance rating of 1h: Fire protection rating of 45min [3.1.8.4.]

Doors in a required fire separation will be provided with self-closing devices (Reference NBCC Article 3.1.8.11). Swing-type doors in a fire separation will be equipped with positive latching mechanisms (Reference NBCC Article 3.1.8.13).

1.1.3 CONSTRUCTION TYPE

The building is permitted to be of combustible or non-combustible construction in accordance with NBCC Article 3.2.2.50.

1.1.4 OCCUPANT LOAD AND EXIT CAPACITY

OCCUPANT LOAD

The occupant loads for all areas are calculated for the design drawings based on design criteria and NBCC Article 3.1.17.1. and based on the intended occupancy of the residential units.

EXIT CAPACITY

The exit capacity for each floor is calculated based on Articles 3.4.3.2 and 3.4.2.1.

Level 1: 336 (exit capacity) based on door width design
Level 2-4: 228 (exit capacity) based on exit width design

1.1.5 INTERIOR FINISH RATINGS

The following table identifies the applicable interior finish ratings based on the design drawing. Applicable references include NBCC Articles 3.1.13.6 and 3.1.13.2.

Location: Ext Stairways and Lobbies used for exiting:

- Max. Flame-Spread Rating
1. Wall Surface: 25
- Ceiling Surface: 25

Location: Corridors not within suites:

- Max. Flame-Spread Rating
1. Wall Surface: 75
- Ceiling Surface: 150

Location: Suite Bathroom:

- Max. Flame-Spread Rating
1. Wall Surface: 200
- Ceiling Surface: 200

1.1.6 FIRE EXTINGUISHERS

Fire extinguishers will be provided in accordance with NBCC Article 3.2.5.16 and NFCC Article 2.1.5.1. The portable fire extinguishers will be selected and installed based on the requirements of NFPA 10, *Portable Fire Extinguishers*.

1.1.7 FIRE ALARM SYSTEM

According to NBCC Clause 3.2.4.1.(4).(j), a fire alarm system is to be installed in this building. The fire alarm system may be a single or two-stage system and will be designed in accordance with CAN/ULC-S524, Installation of Fire Alarm Systems.

It is recommended that all signaling devices will be a combination audible/visible devices, where the visibility of the strobes will have a minimum of 110cd intensity. The barrier-free residential rooms will be provided with visible signaling devices.

Smoke detection is to be provided in the residential corridors.

1.1.8 SMOKE ALARMS

The design and installation of smoke alarms will meet the requirements of CAN/ULC-S531, *Smoke-Alarms*. Smoke alarms will be installed in each sleeping room on or near the ceiling. The smoke alarms will be provided with battery back-up and will be capable of being silenced for a period of not more than 10 minutes (Reference NBCC Article 3.2.4.20.). Smoke detection may be installed in lieu of smoke alarms (Reference NBCC Sentence 3.2.4.20.(8))

1.1.9 ALARM MONITORING

The fire alarm monitoring will be designed and installed in accordance with the requirements of ULC S561, *Installation and Services for fire Signal Receiving Centres and Systems*. (Reference NBCC Article 3.2.4.7).

1.1.10 FIRE DEPARTMENT ACCESS

The design of the fire department access to the new building will be in accordance with the design requirements identified in NBCC Subsection 3.2.5. The nearest fire hydrant will be located such that the maximum unobstructed distance between the hydrant, vehicle, and building does not exceed 90m. And, the unobstructed path of the firefighter from the vehicle to the building is not greater than 45m.

1.1.11 EGRESS AND EXITING

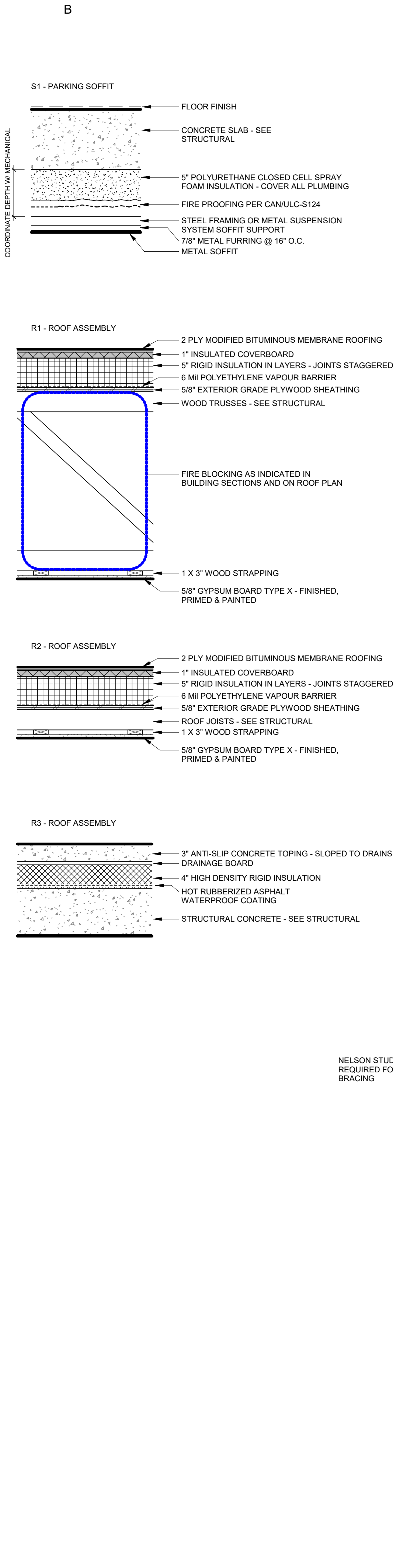
The exiting for this building will consist of at least two exits per floor area (Reference NBCC Article 3.4.2.1.). The exit facilities are sized such that the exit capacity exceeds the calculated occupant load for the floor area. The travel distance to at least one exit will not exceed 45m in accordance with NBCC Article 3.4.2.5.

1.1.12 SPATIAL SEPARATION


The building faces of this building are permitted to have unprotected openings as shown on A004 in accordance with NBCC Table 3.2.3.1.-B. The Exterior Cladding of the building shall be non-combustible as per 3.1.4.8.

1.1.13 BARRIER-FREE DESIGN

A barrier free path of travel is required for each floor area providing barrier free access and common areas. One barrier free suite is to be provided per floor based on the number of units proposed for each floor. Two of the total 33 rooms have been designed to be barrier free units.




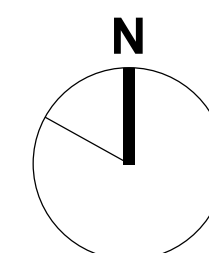




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Consultants:

Stamp:


Plan North:


Project Name:

216 Cobequid

City: Province:

Client: FH Development Group

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MARK	DATE	DESCRIPTION
B	2021-05-17	Issued for Construction
A	2021-04-01	Issued for Permit

REVISION SCHEDULE

Date (yyyy-mm-dd): 2021-05-17

Project No.: 2017-016 216 Cobequid Rd.

Drawn By: RB, BM

Checked By: Checker

Approved By: Approver

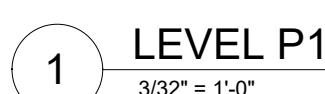
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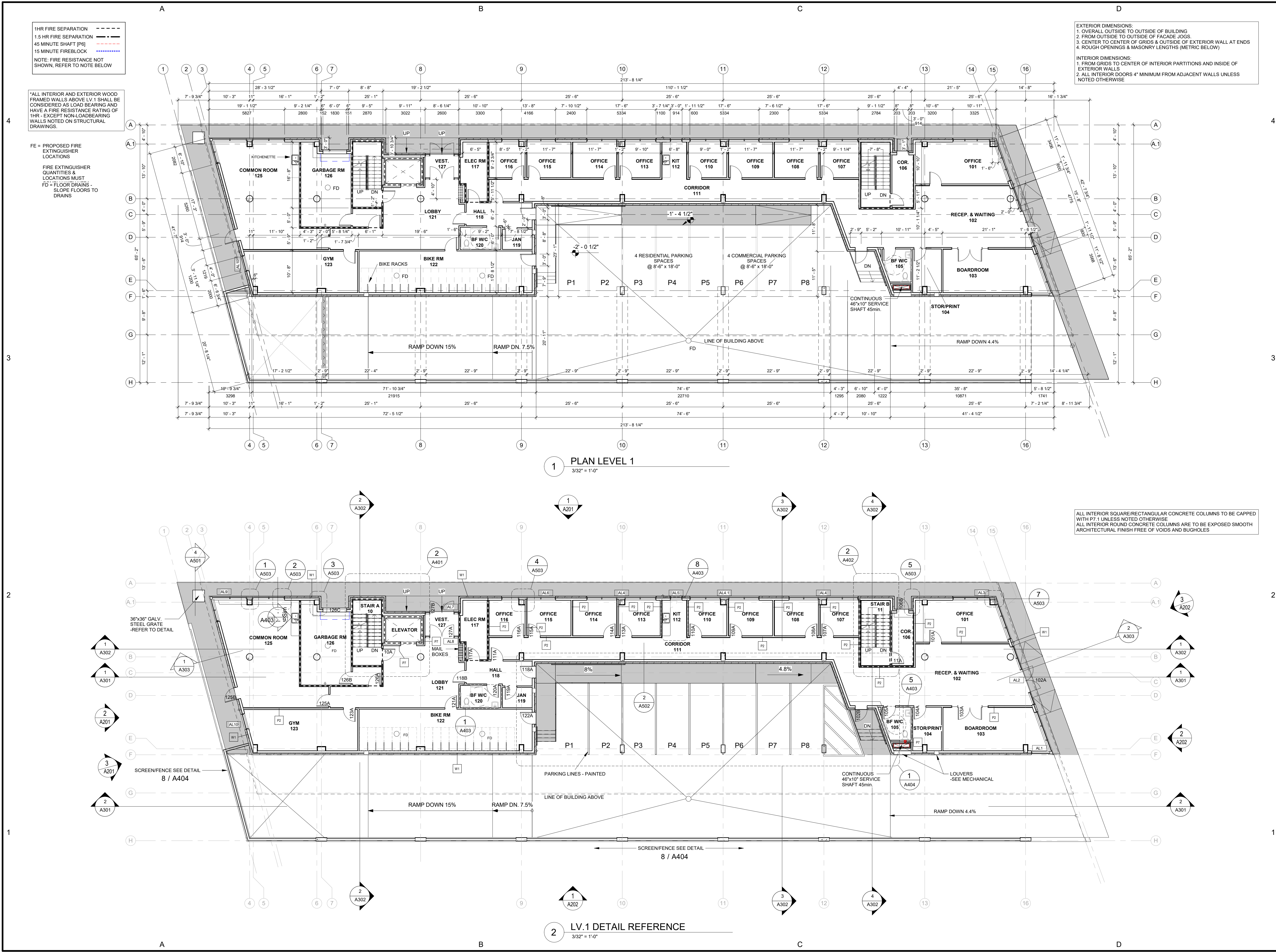
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SITE PLAN

Sheet No.:

A101





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Consultants:

Stamp:

Plan North:

Project Name:

216 Cobequid

City:

Province:

Client:

FH Development Group

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A	2021-04-01	Issued for Permit

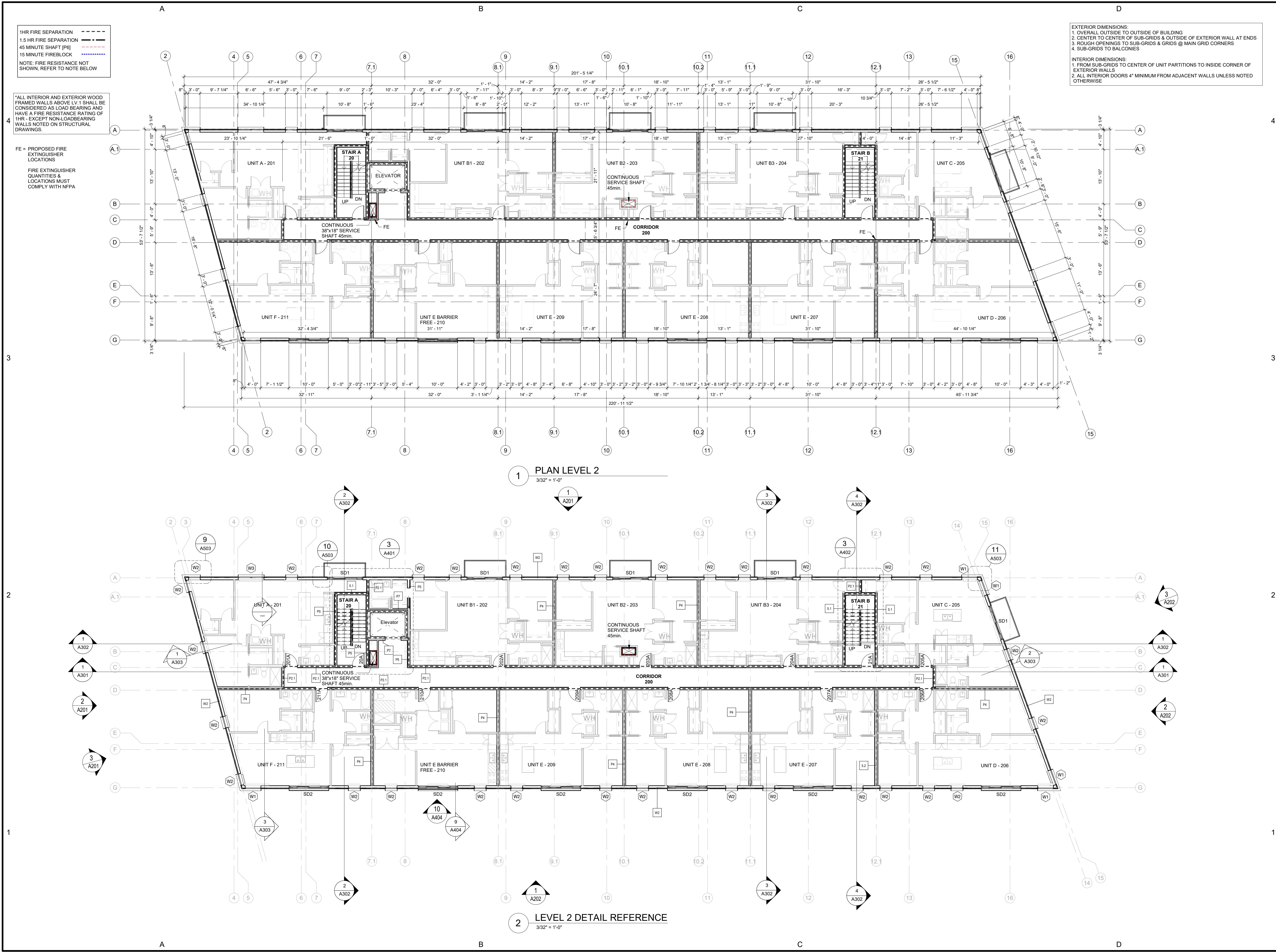
REVISION SCHEDULE


Date (yyyy-mm-dd)	2021-05-17
Project No.:	2017-016 216 Cobequid Rd.
Drawn By:	RB
Checked By:	Checker
Approved By:	Approver
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Sheet Title:	

LEVEL 1 FLOOR PLAN & DETAIL REFERENCE

Sheet No.:

A103






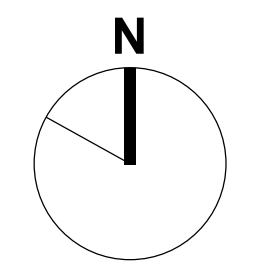
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email - info@TEALarchitects.com

Consultants:

Stamp:



Plan North:



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A	2021-04-01	Issued for Permit

REVISION SCHEDULE

Date (yyyy-mm-dd): 2021-05-17

Project No.: 2017-016 216 Cobequid Rd.

Drawn By: RB

Checked By: Checker

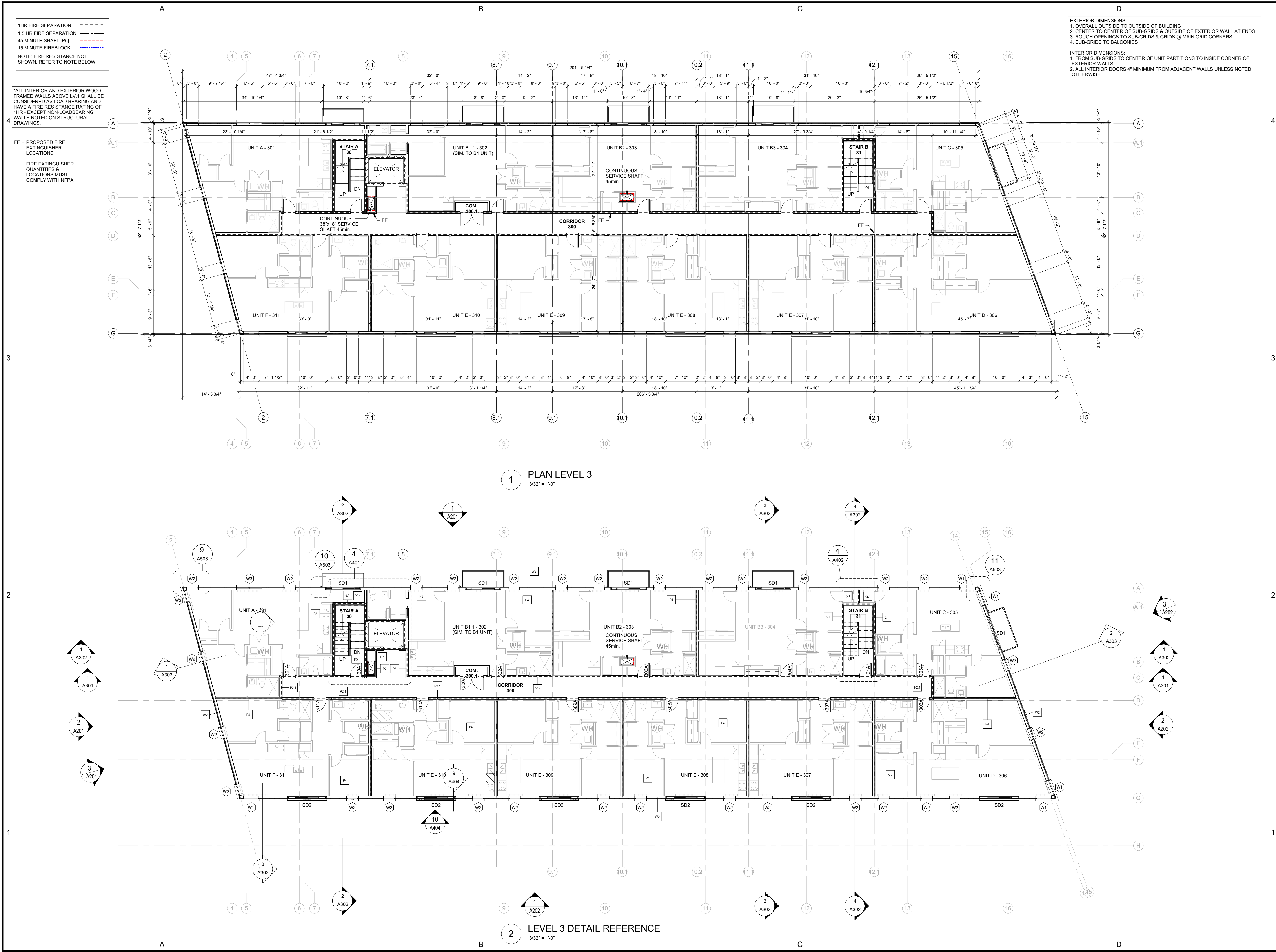
Approved By: Approver


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Sheet Title:

LEVEL 2 FLOOR PLAN & DETAIL REFERENCE

Sheet No.: **A104**






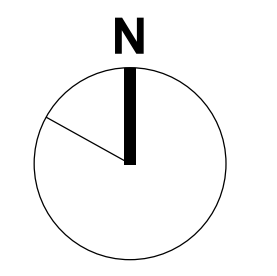
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Consultants:

Stamp:



Plan North:



Project Name:

216 Cobequid

City: Province:

Client: FH Development Group

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REVISION SCHEDULE

Date (yyyy-mm-dd): 2021-05-17

Project No.: 2017-016 216 Cobequid Rd.

Drawn By: RB

Checked By: Checker

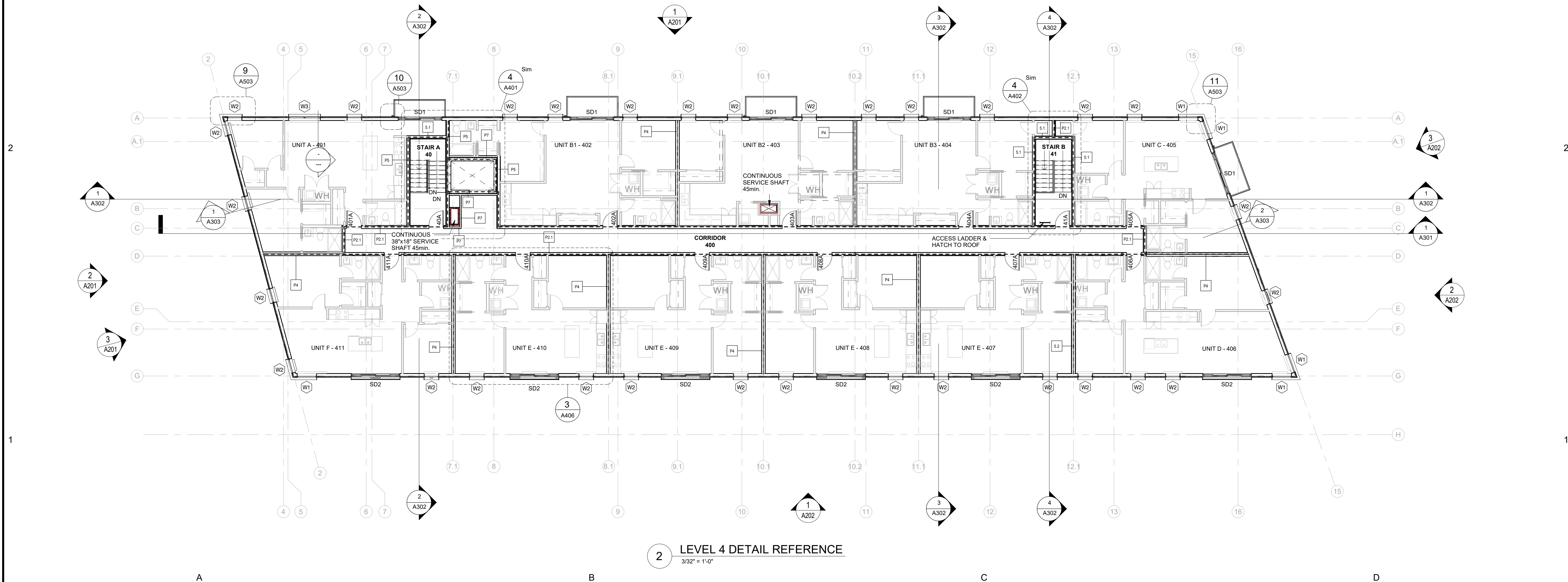
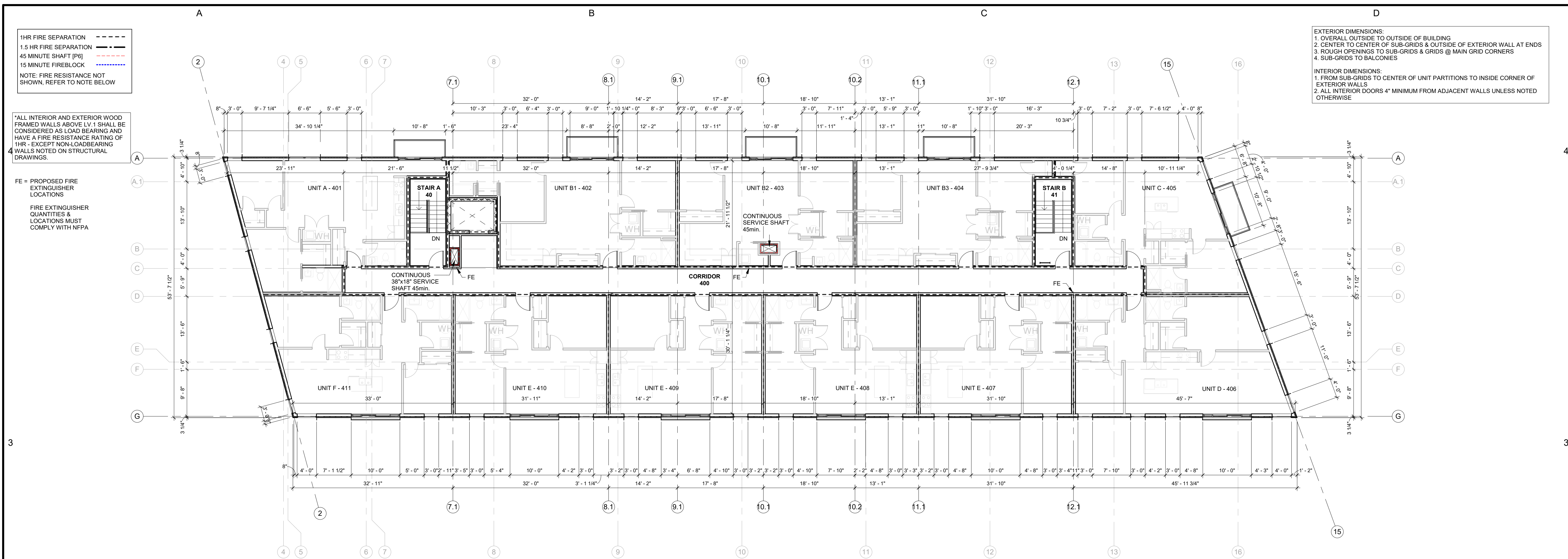
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Sheet Title:

LEVEL 3 PLAN & DETAIL REFERENCE

Sheet No.: A105



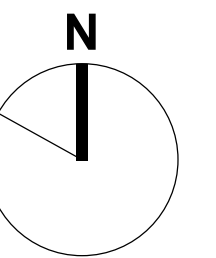
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LEVEL 4 FLOOR PLAN & DETAIL REFERENCE

Sheet No.:

A106



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Date (yyyy-mm-dd): 2021-05-1

Project No.: 2017-016 216 Cobequid R

Drawn By: _____

Checked By: _____ Check _____

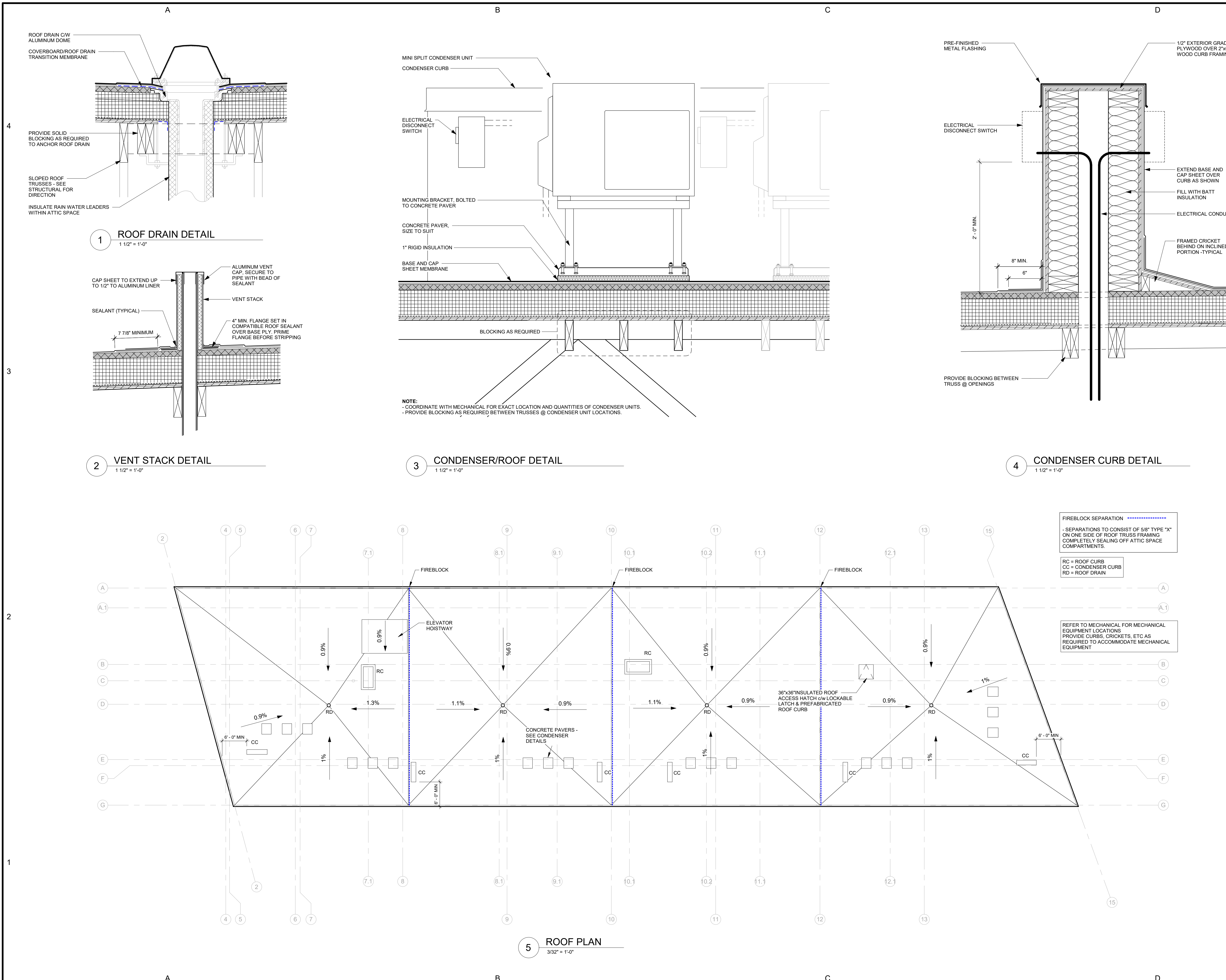
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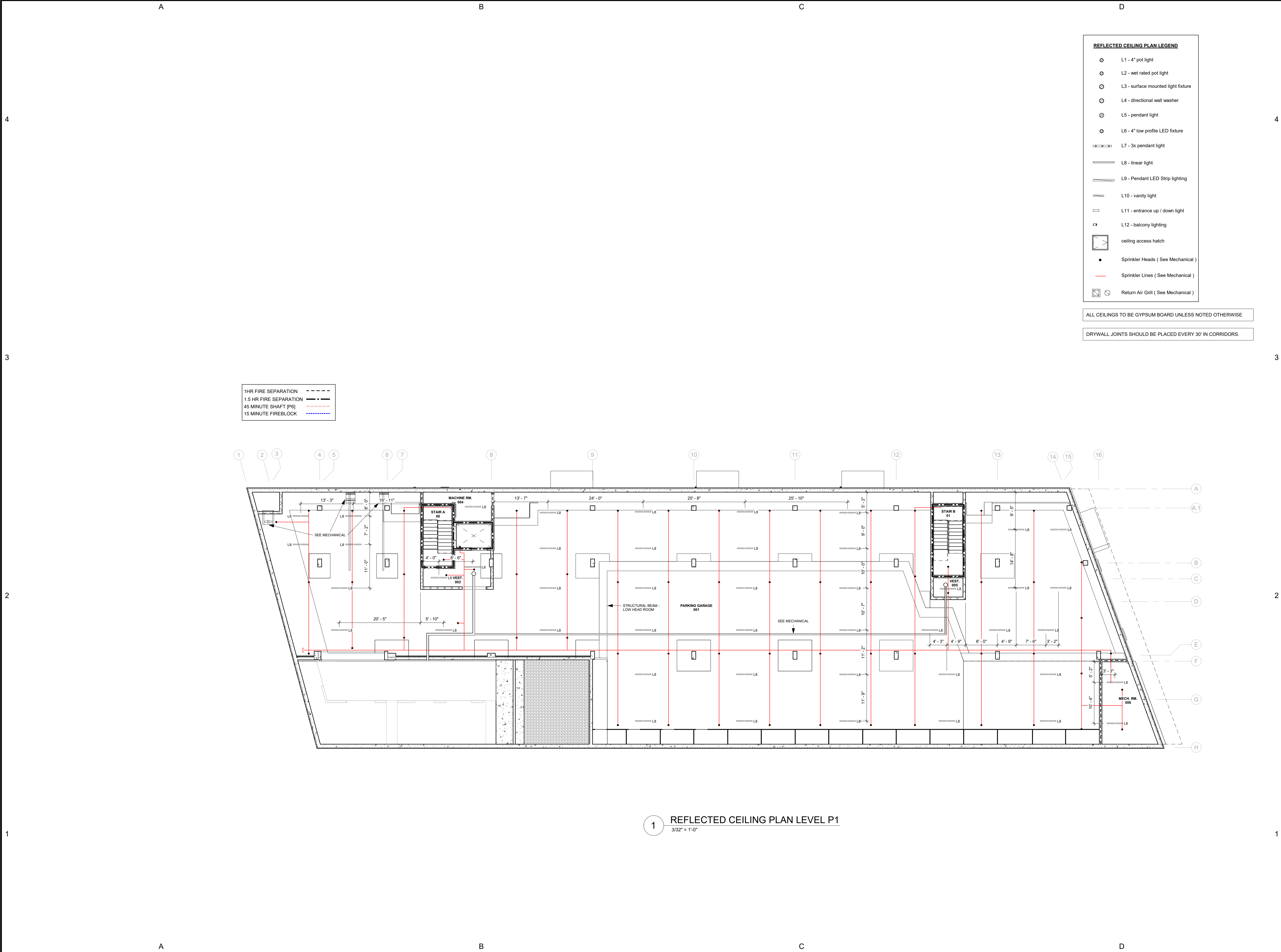
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City: Province:

Client: FH Development Group

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Sheet Title:

LEVEL P1
REFLECTED
CEILING PLAN

Sheet No.: A108



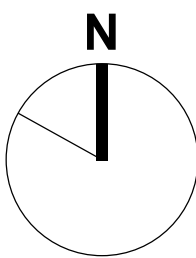
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Date (yyyy-mm-dd):	2021-05-17
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Approved By:	Approver
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Sheet Title:	

REFLECTED
CEILING PLANS -
LEVEL 1 & 2

Sheet No.:

A109

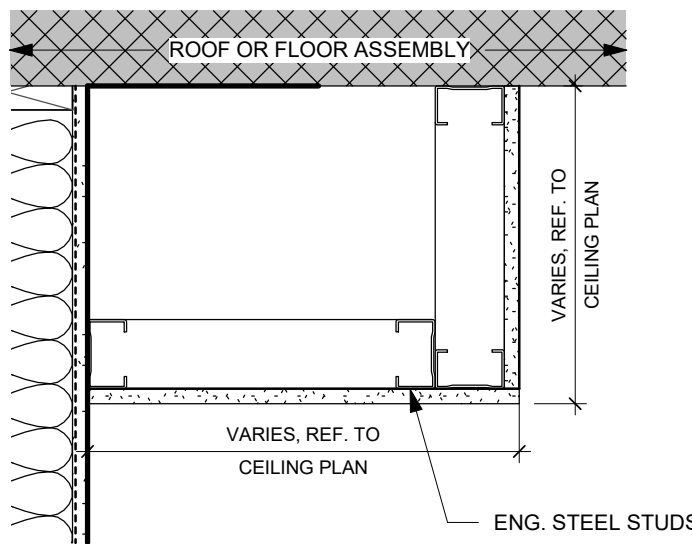
REFLECTED CEILING PLAN LEGEND

- L1 - 4" pot light
- L2 - wet rated pot light
- L3 - surface mounted light fixture
- L4 - directional wall washer
- L5 - pendant light
- L6 - 4" low profile LED fixture
- L7 - 3x pendant light
- L8 - linear light
- L9 - Pendant LED Strip lighting
- L10 - vanity light
- L11 - entrance up / down light
- L12 - balcony lighting
- ceiling access hatch
- Sprinkler Heads (See Mechanical)
- Sprinkler Lines (See Mechanical)
- Return Air Grill (See Mechanical)

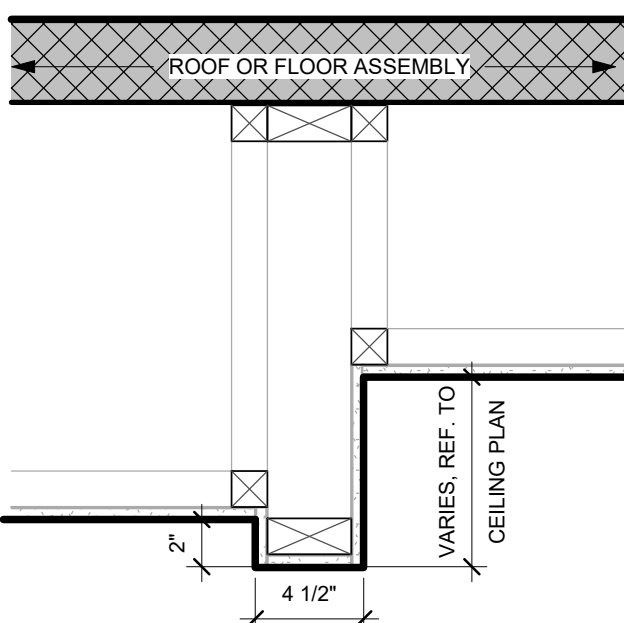
ALL CEILINGS TO BE GYPSUM BOARD UNLESS NOTED OTHERWISE

DRYWALL JOINTS SHOULD BE PLACED EVERY 30" IN CORRIDORS.

C.T. = CEILING TRANSITION, SEE DETAIL 4



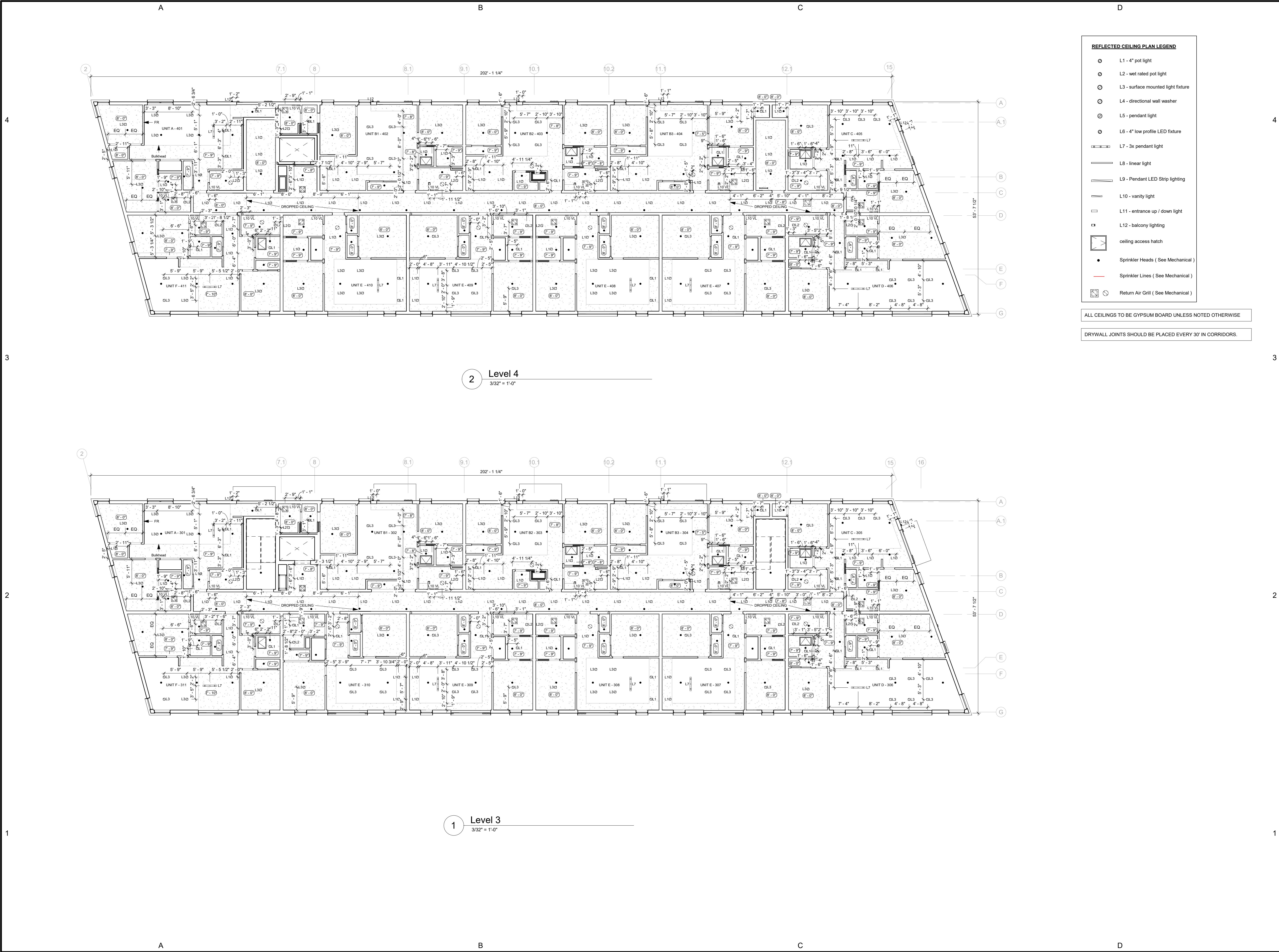
3 TYP CEILING BULKHEAD DETAIL
1 1/2" = 1'-0"




4 CEILING TRANSITION DETAIL
1 1/2" = 1'-0"

2 LEVEL 2
3/32" = 1'-0"

1 LEVEL 1
3/32" = 1'-0"






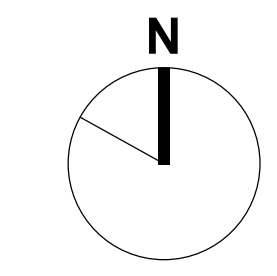
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Checked By: Checker

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Sheet Title:

REFLECTED
CEILING PLANS -
LEVEL 3 & 4

Sheet No.: A110



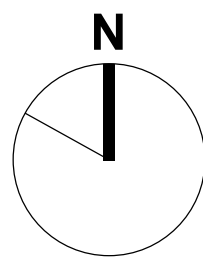
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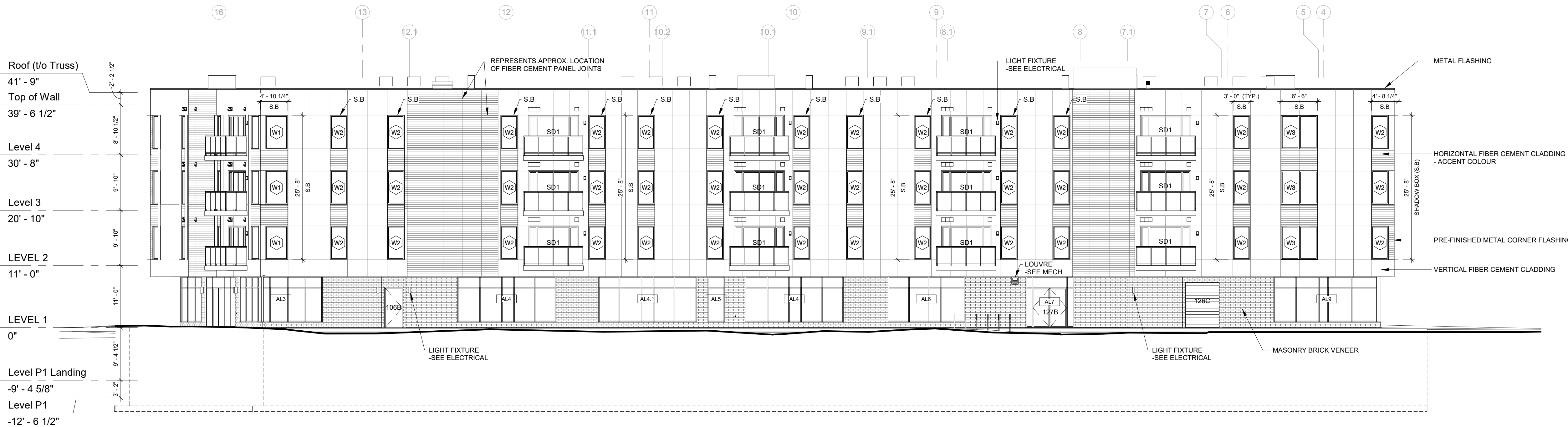
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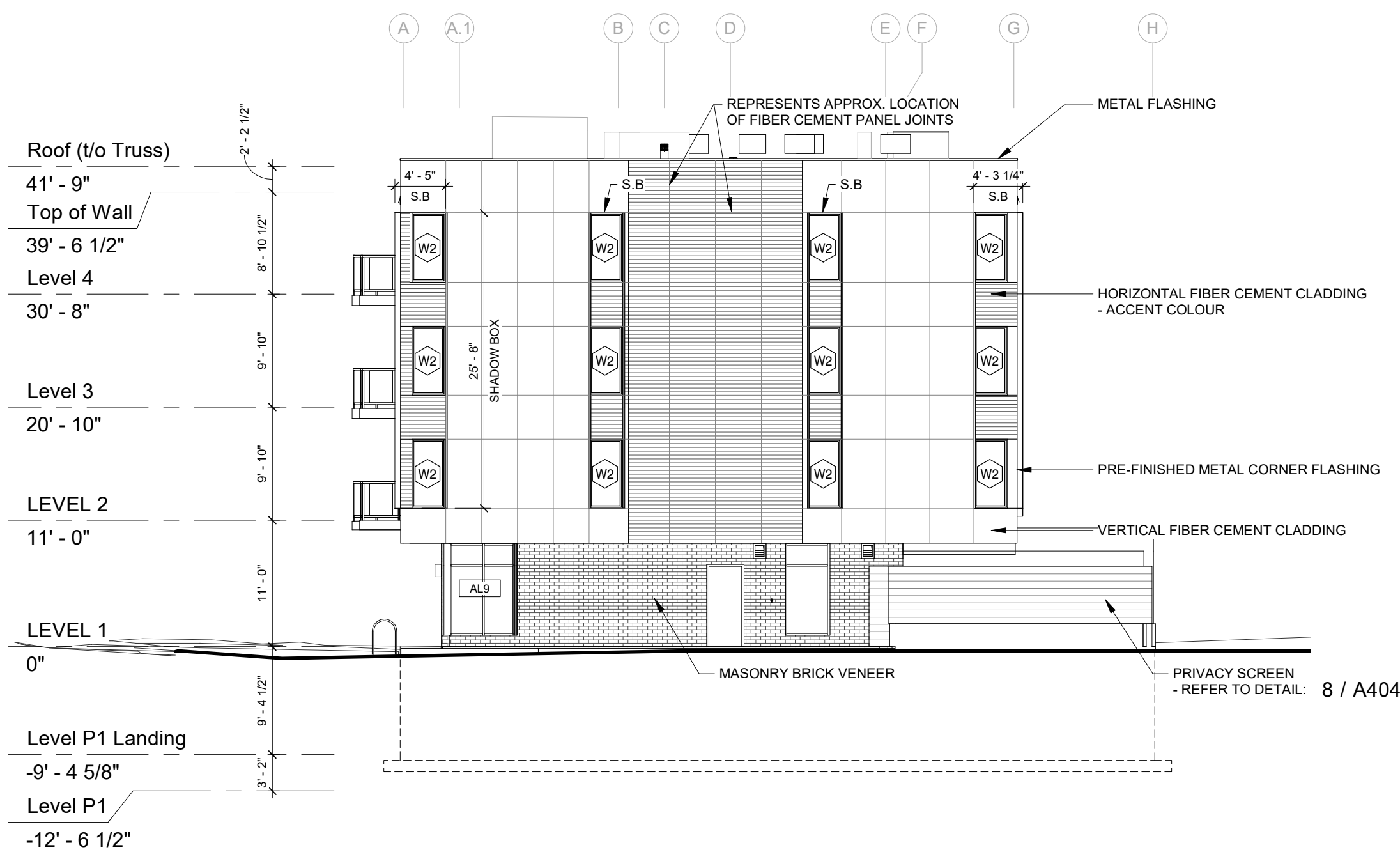
NORTH & WEST ELEVATIONS

Sheet No.:

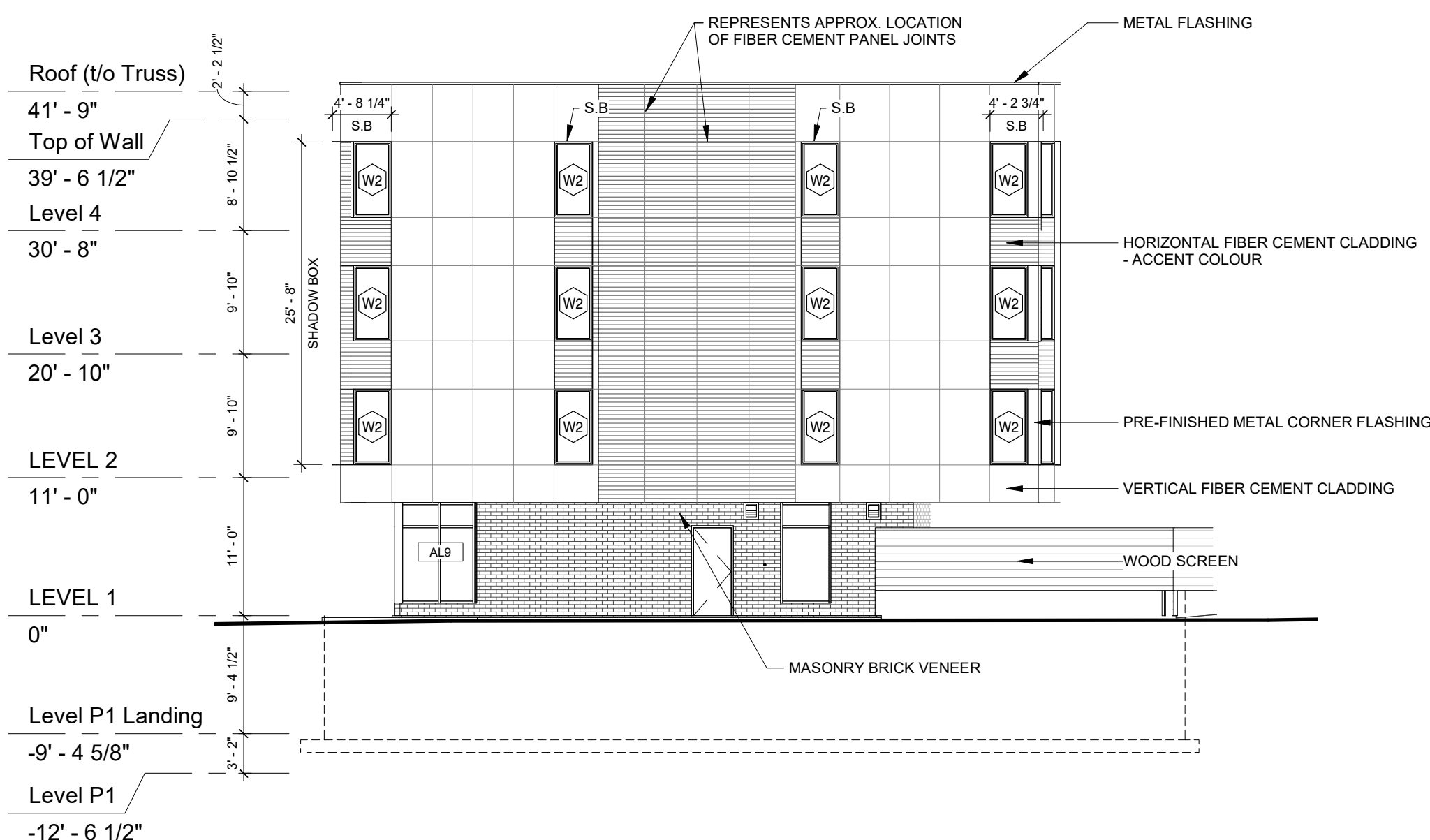
A201



1 NORTH ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



3 WEST ELEVATION UNFOLDED
3/32" = 1'-0"



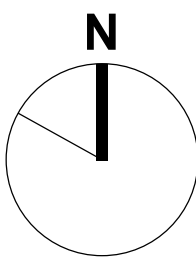
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Project No.: 2017-016 216 Cobequid Rd.

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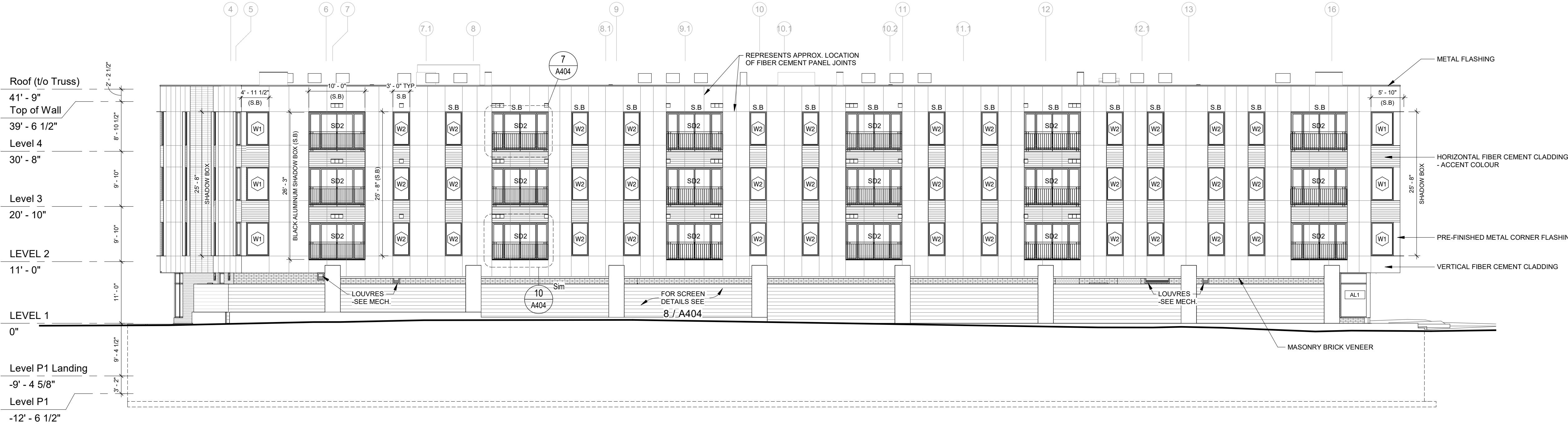
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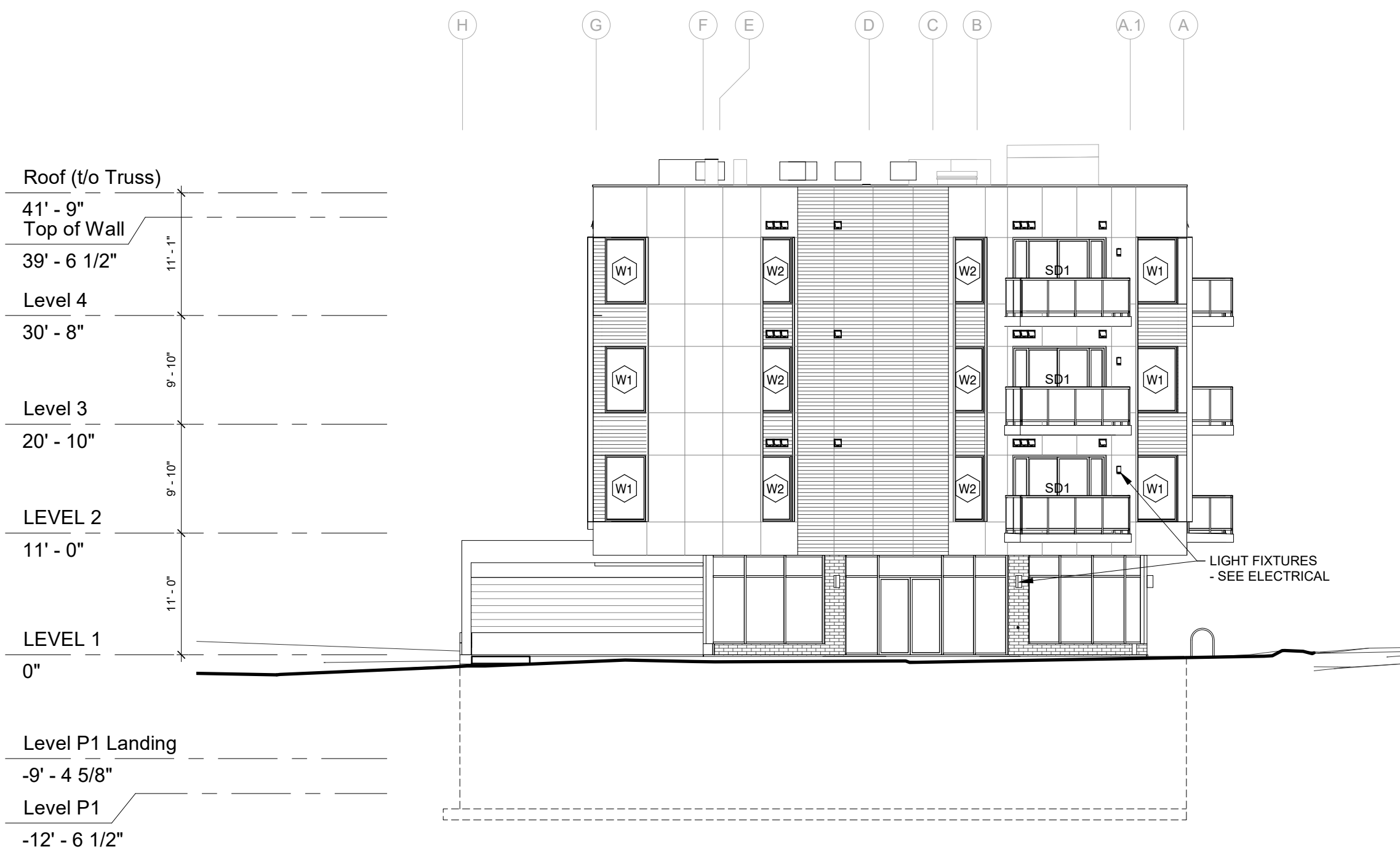
SOUTH & EAST ELEVATIONS

Sheet No.:

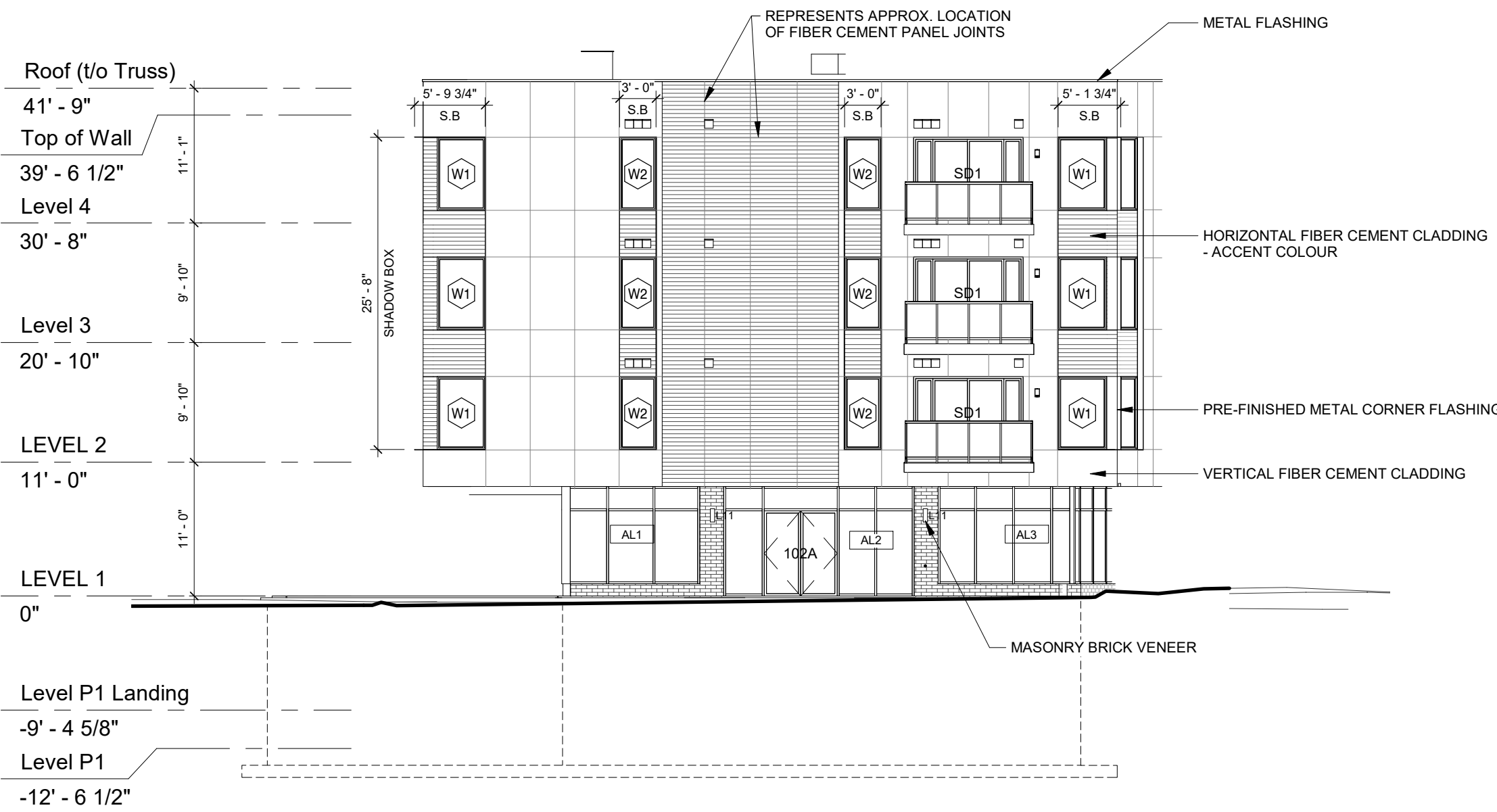
A202



1 SOUTH ELEVATION
3/32" = 1'-0"



2 EAST ELEVATION
3/32" = 1'-0"

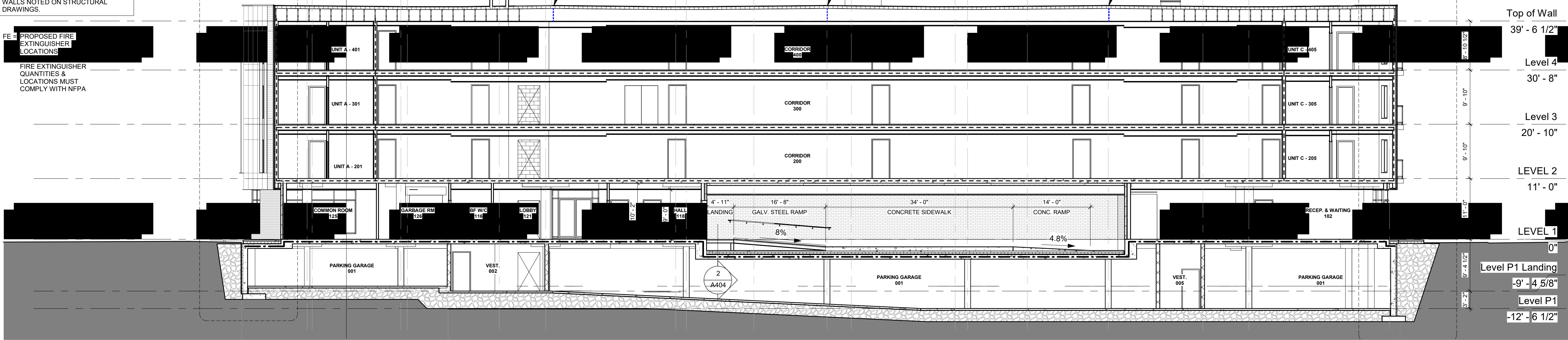


3 EAST ELEVATION UNFOLDED
3/32" = 1'-0"

1HR FIRE SEPARATION
1.5 HR FIRE SEPARATION
45 MINUTE SHAFT (P6)
15 MINUTE FIREBLOCK
NOTE: FIRE RESISTANCE NOT
SHOWN, REFER TO NOTE BELOW

*ALL INTERIOR AND EXTERIOR WOOD
FRAMED WALLS ABOVE LV 1 SHALL BE
CONSIDERED AS LOAD BEARING AND
HAVE A FIRE RESISTANCE RATING OF
1HR - EXCEPT NON-LOADBEARING
WALLS NOTED ON STRUCTURAL
DRAWINGS.

FE - PROPOSED FIRE
EXTINGUISHER
LOCATIONS
FIRE EXTINGUISHER
QUANTITIES &
LOCATIONS MUST
COMPLY WITH NFPA



1 BUILDING SECTION A-A
3/32" = 1'-0"



2 BUILDING SECTION B-B
3/32" = 1'-0"

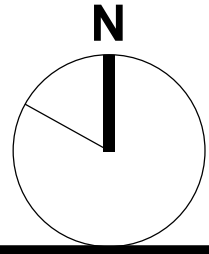
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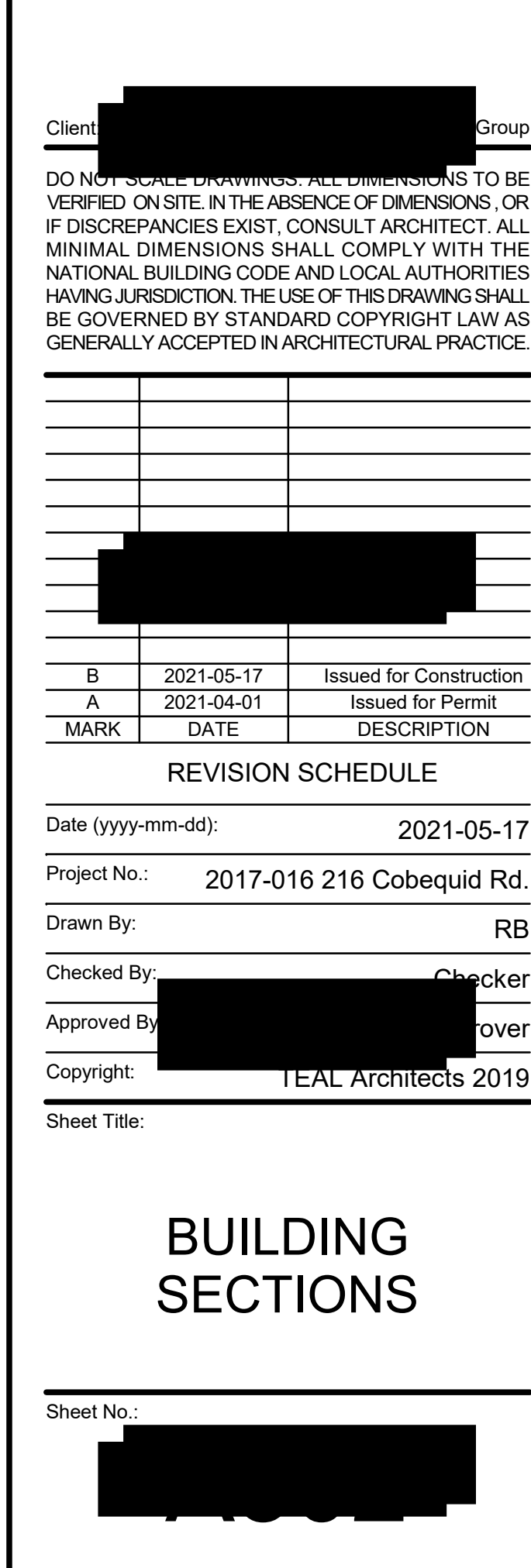
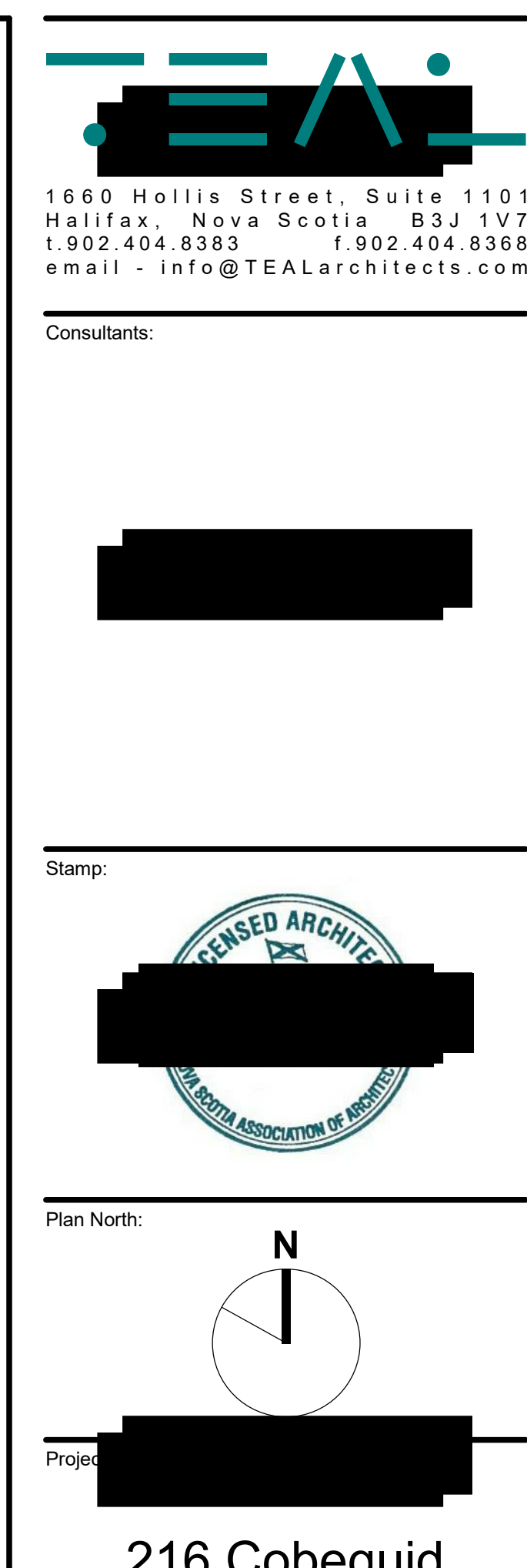
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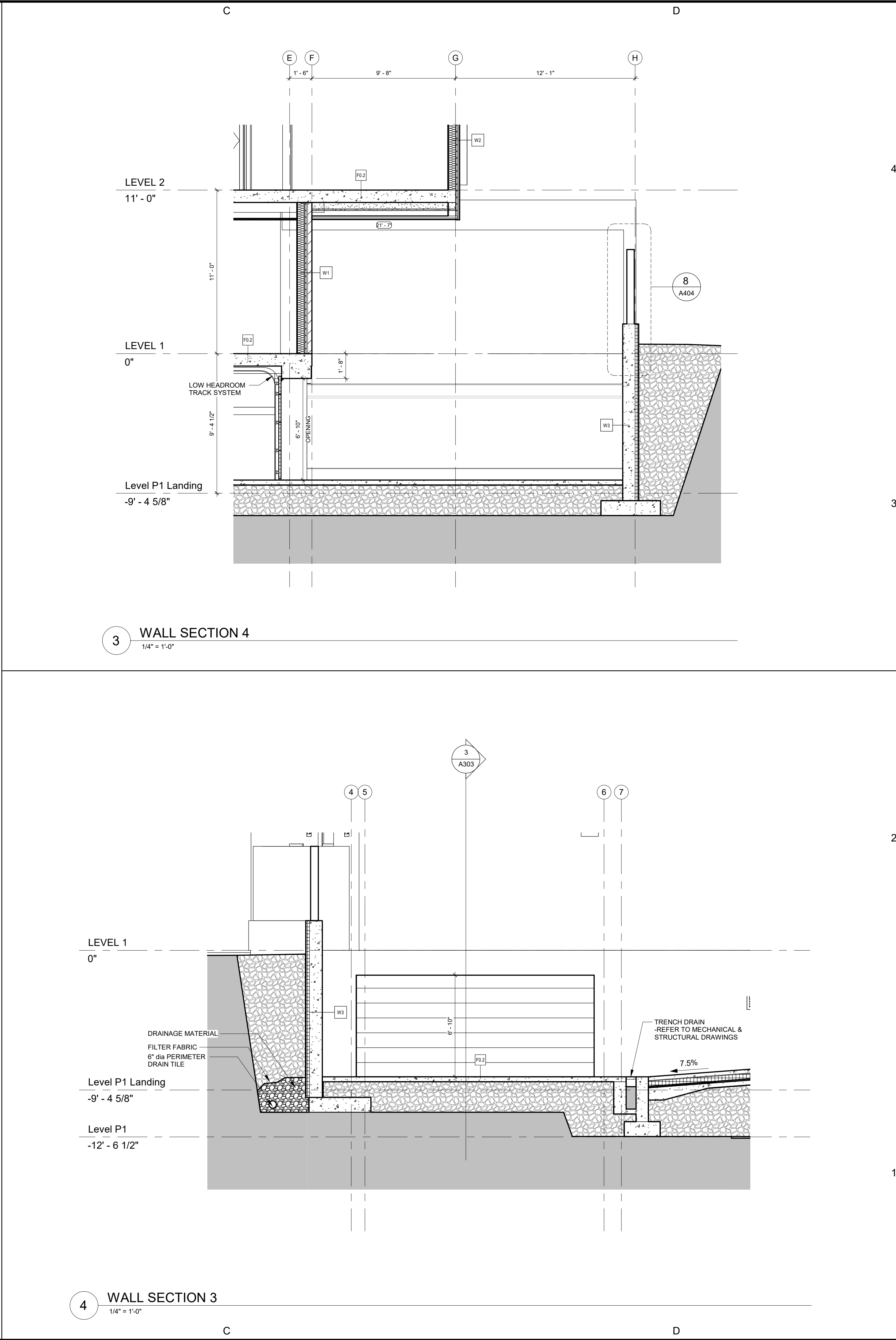
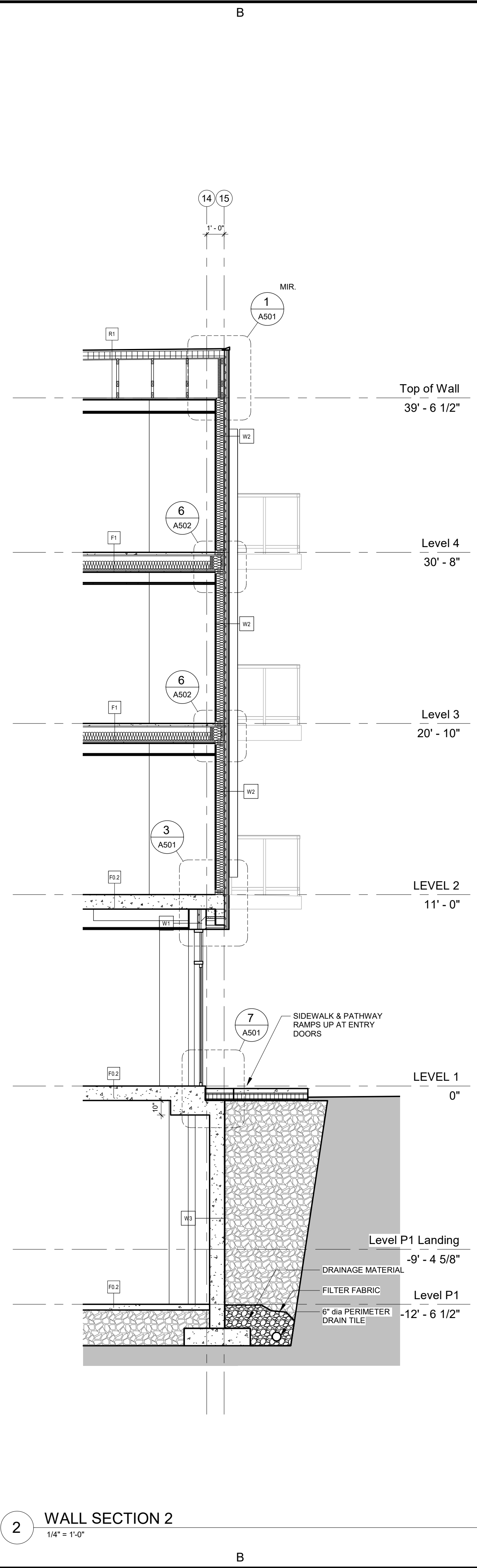
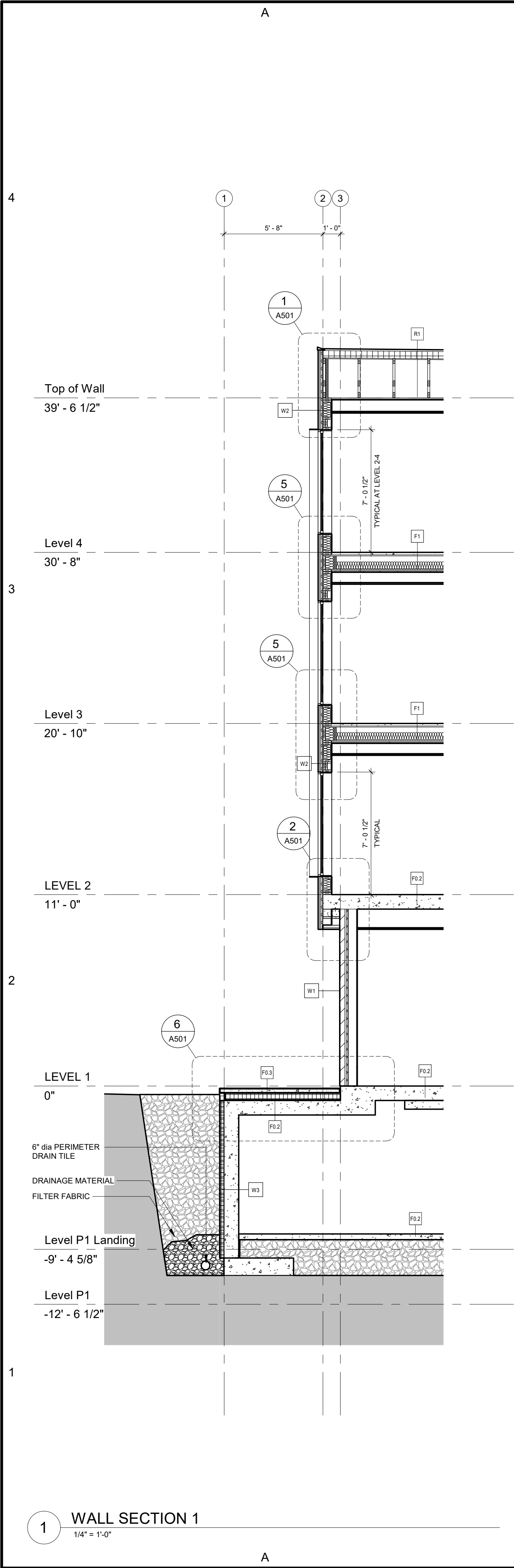
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BUILDING
SECTIONS

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WALL SECTIONS

Sheet No.: A303



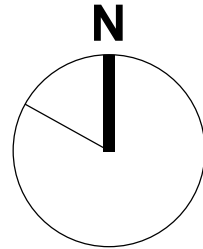
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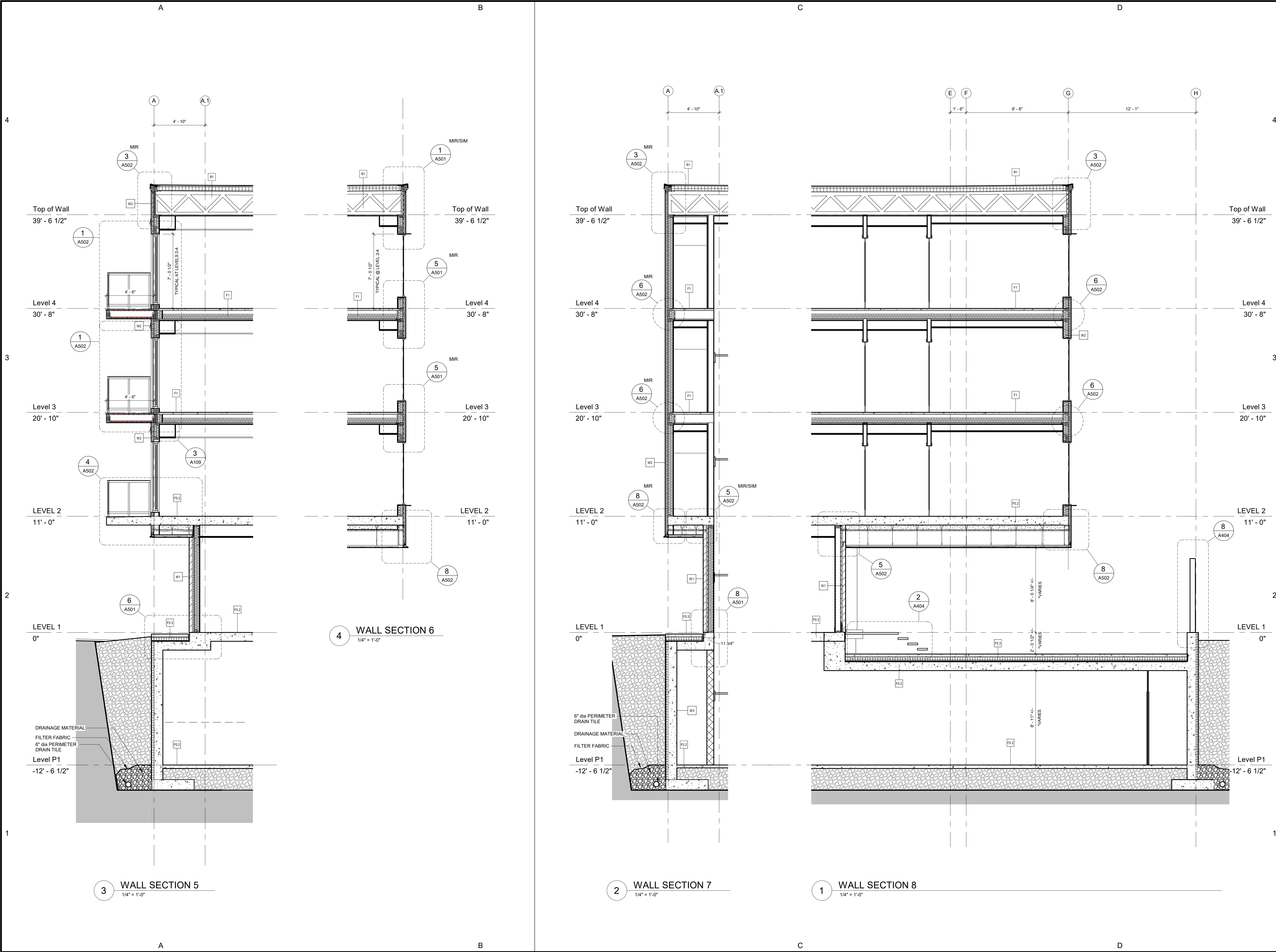
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Sheet Title:

WALL SECTIONS

Sheet No.:

A304





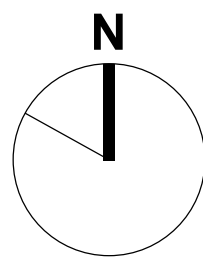
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Checked By: Checker

Approved By: Approver

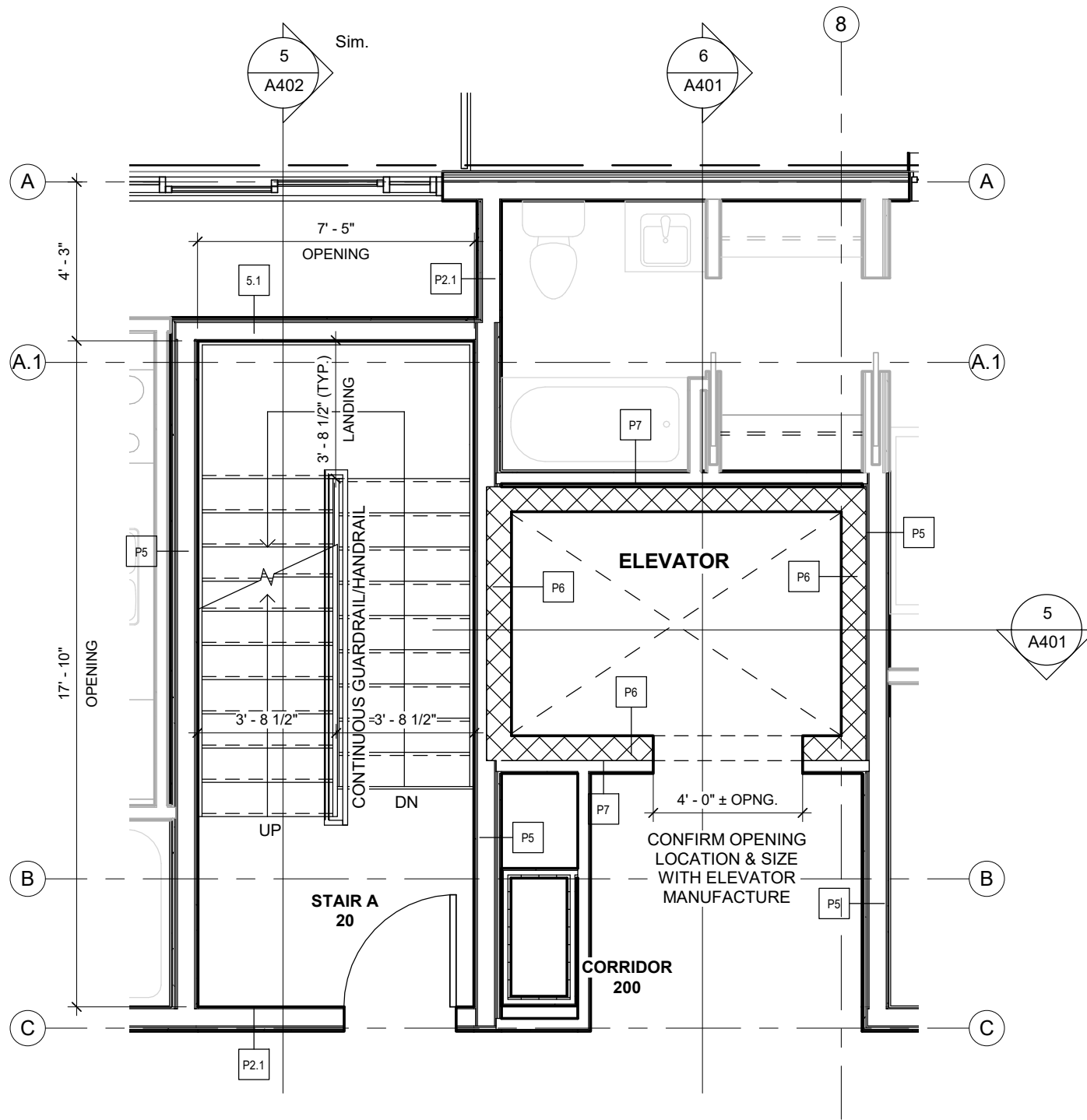
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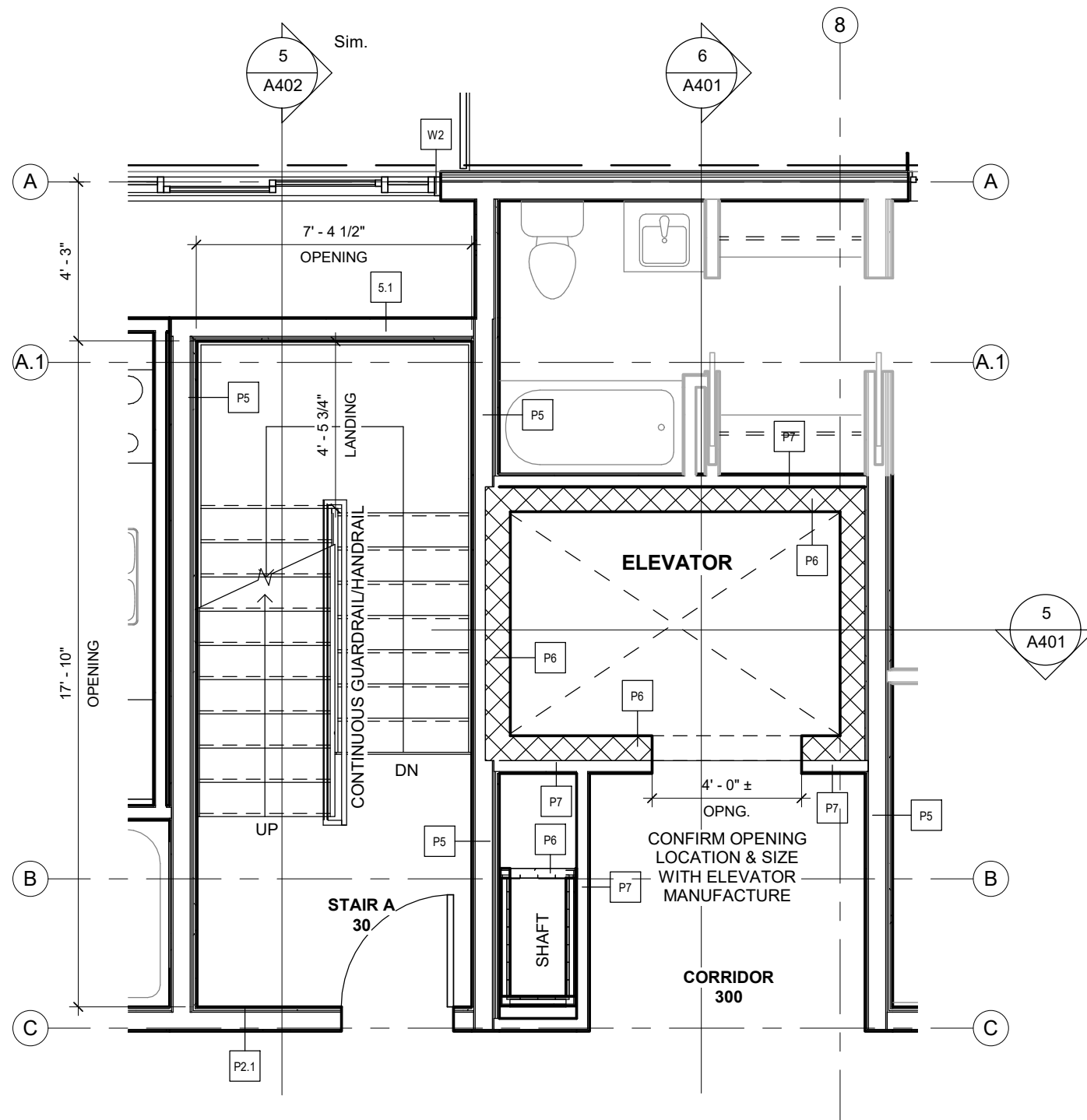
ELEVATOR & STAIR PLANS / SECTIONS

Sheet No.:

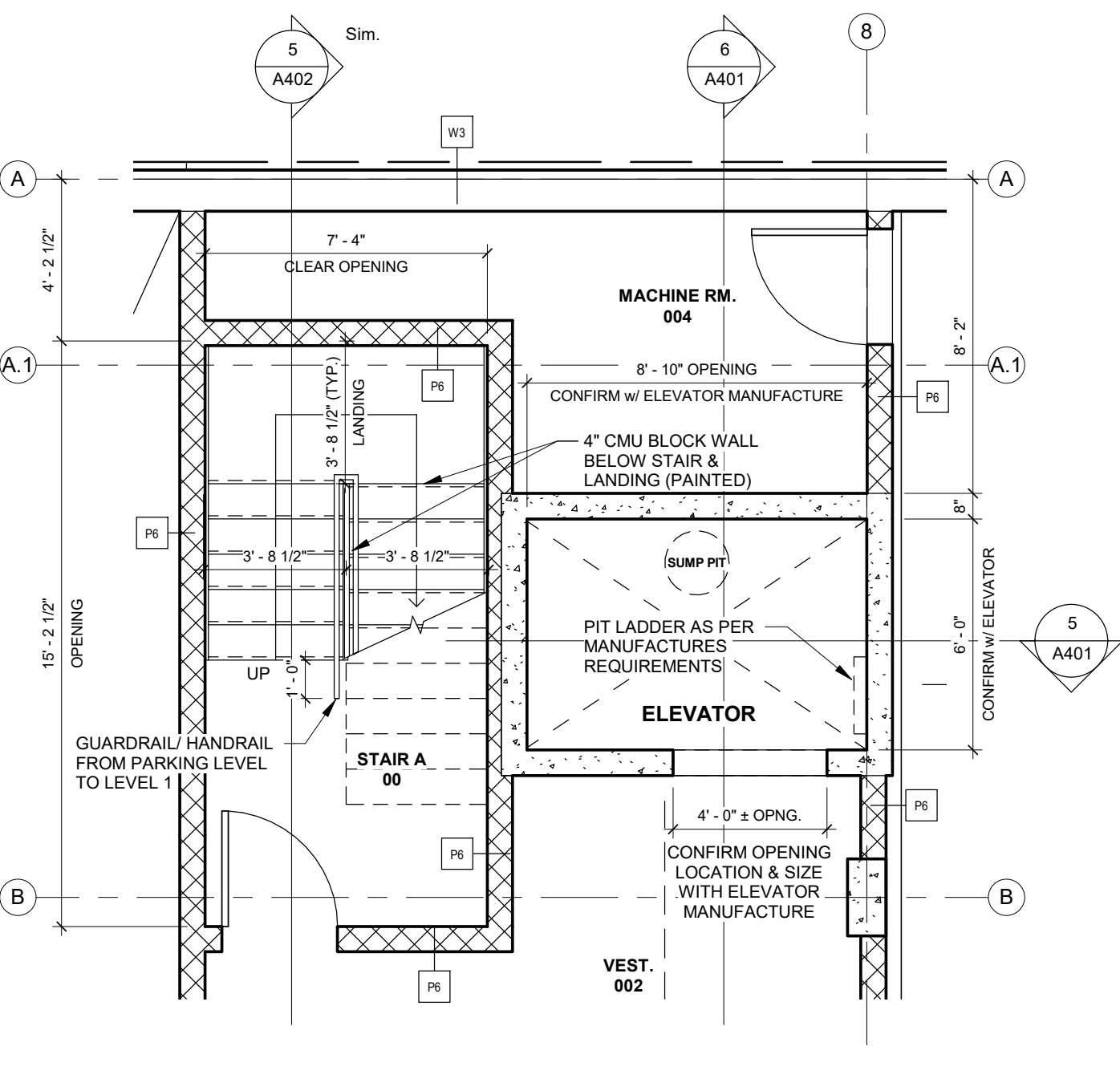
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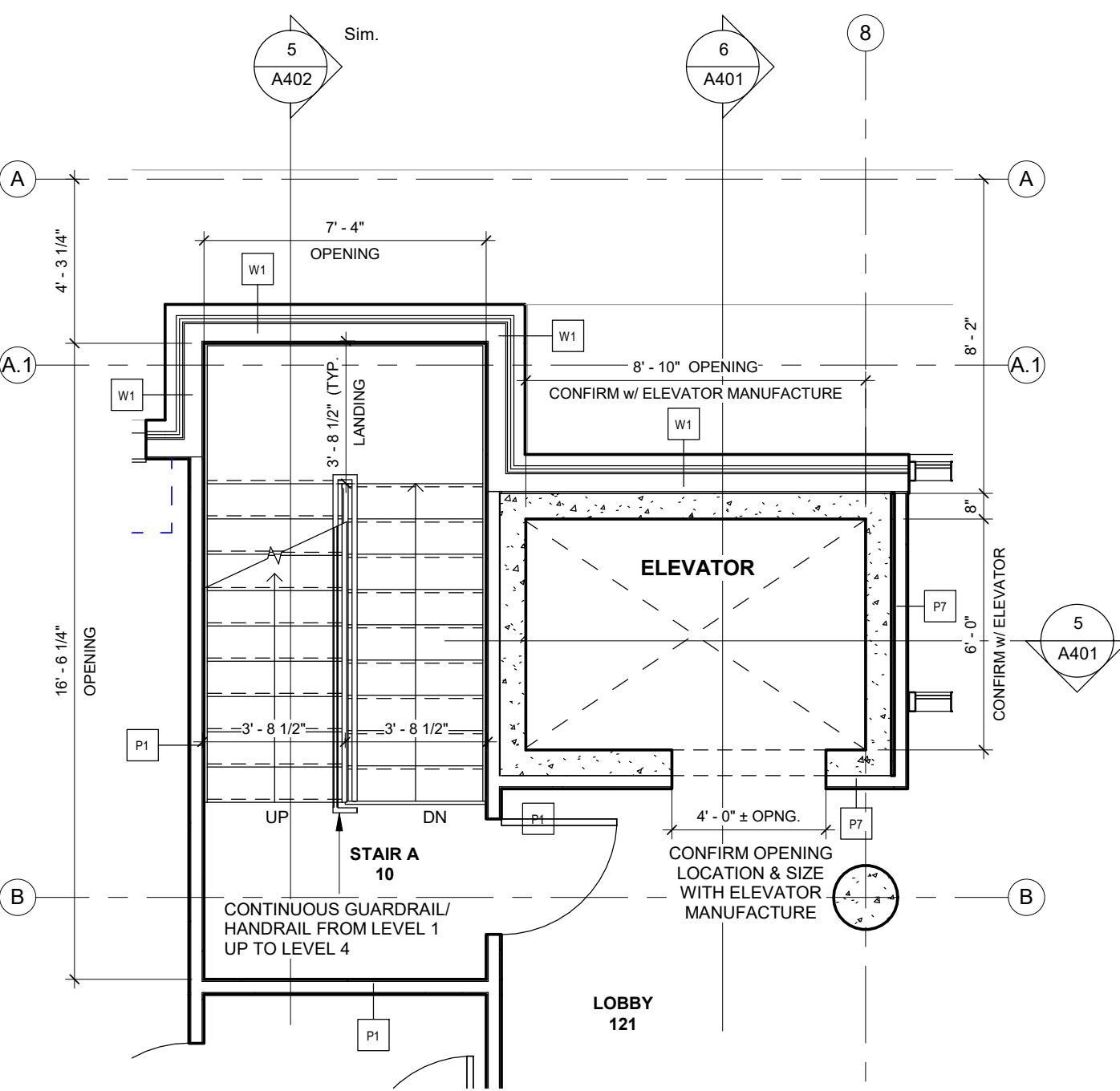
3 LEVEL 2 - STAIR #1 & ELEVATOR PLAN
1/4" = 1'-0"



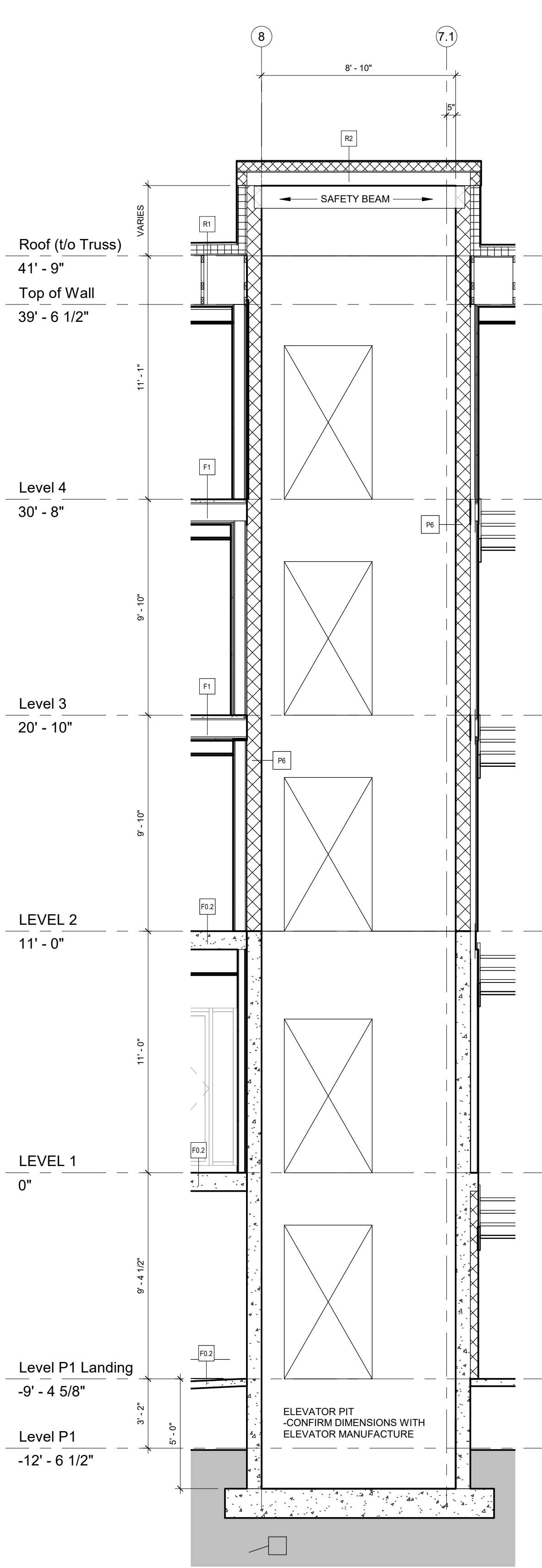
4 LEVEL 3-4 - STAIR #1 & ELEVATOR PLAN
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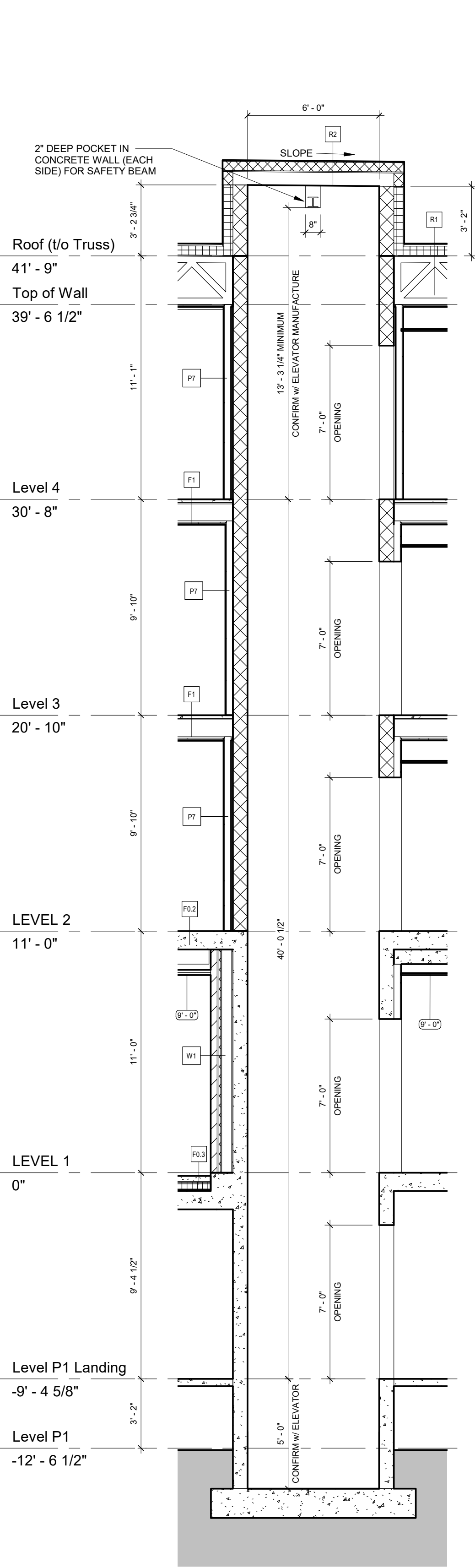
1 LEVEL P1 - STAIR #1 & ELEVATOR PLAN
1/4" = 1'-0"



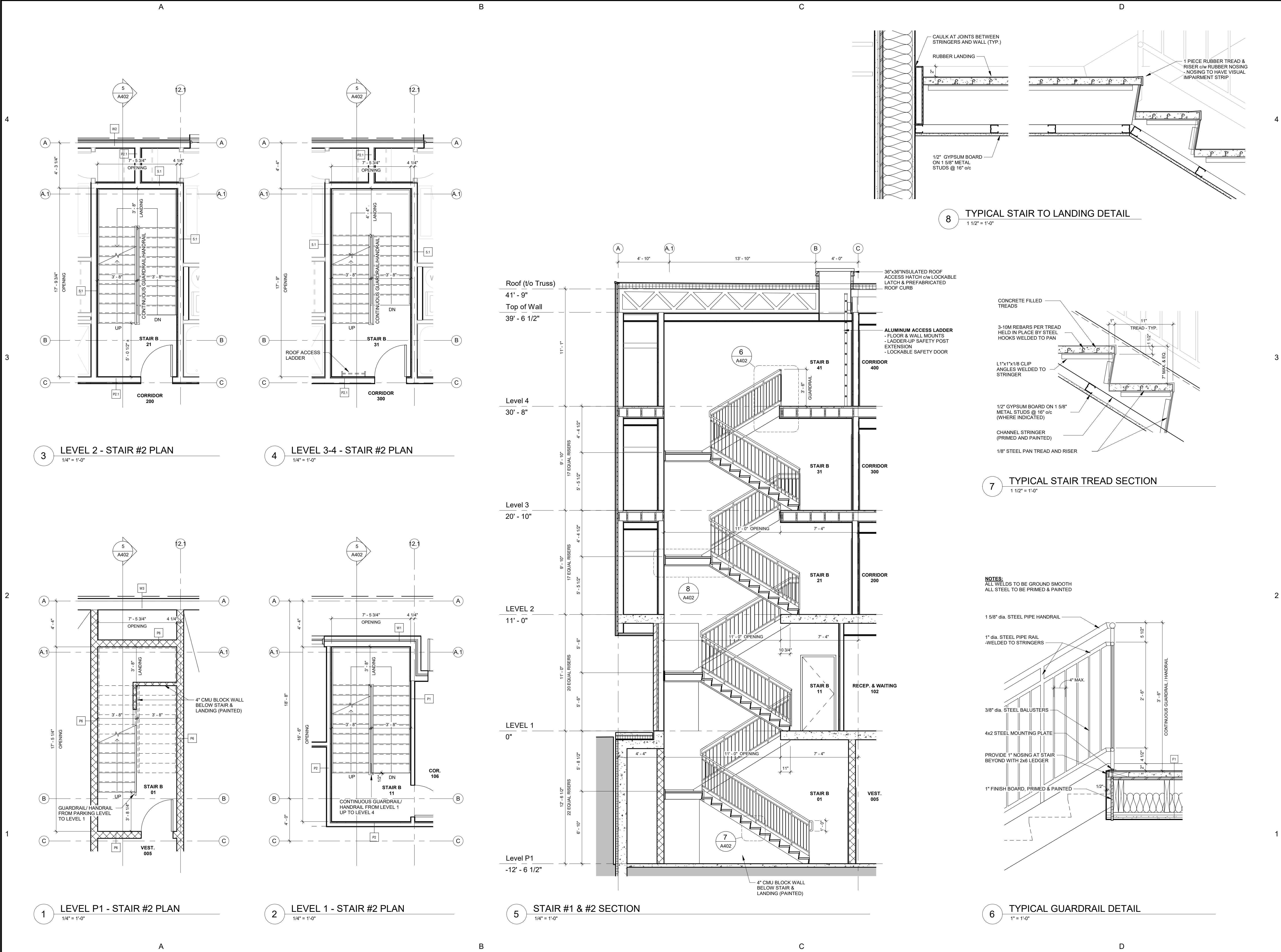
2 LEVEL 1 - STAIR #1 & ELEVATOR PLAN
1/4" = 1'-0"




5 ELEVATOR SECTION - EAST/WEST
1/4" = 1'-0"



6 ELEVATOR SECTION - NORTH/SOUTH
1/4" = 1'-0"






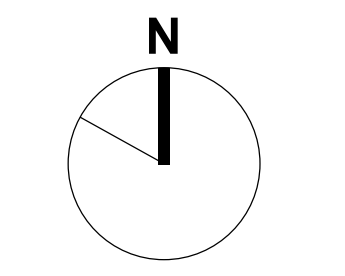
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City: Province:

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REVISION SCHEDULE

Date (yyyy-mm-dd): 2021-05-17

Project No.: 2017-016 216 Cobequid Rd.

Drawn By: JL

Checked By: Checker

Approved By: Approver

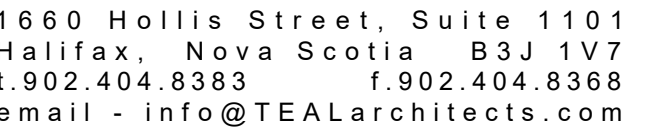
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Sheet Title:

STAIR PLAN, SECTION & DETAILS

Sheet No.:

A402



216 Cobequid

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Drawn By: RB

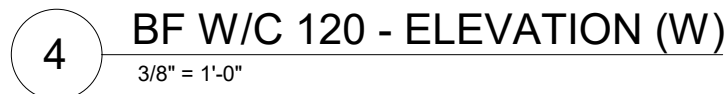
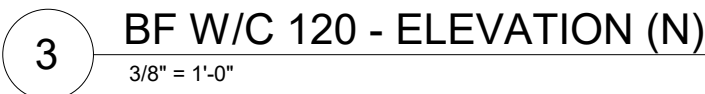
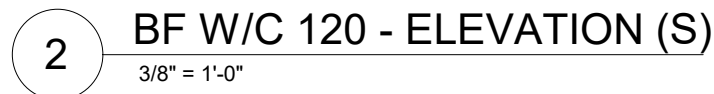
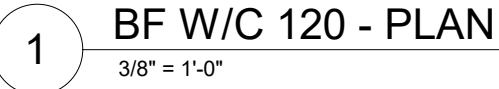
Approved By: _____ Approver

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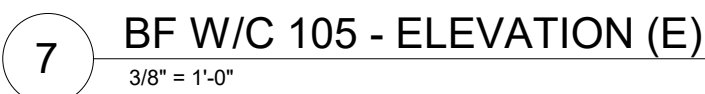
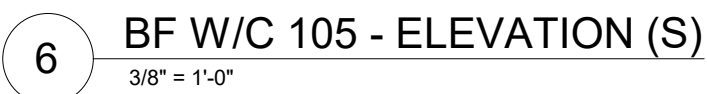
IV 1

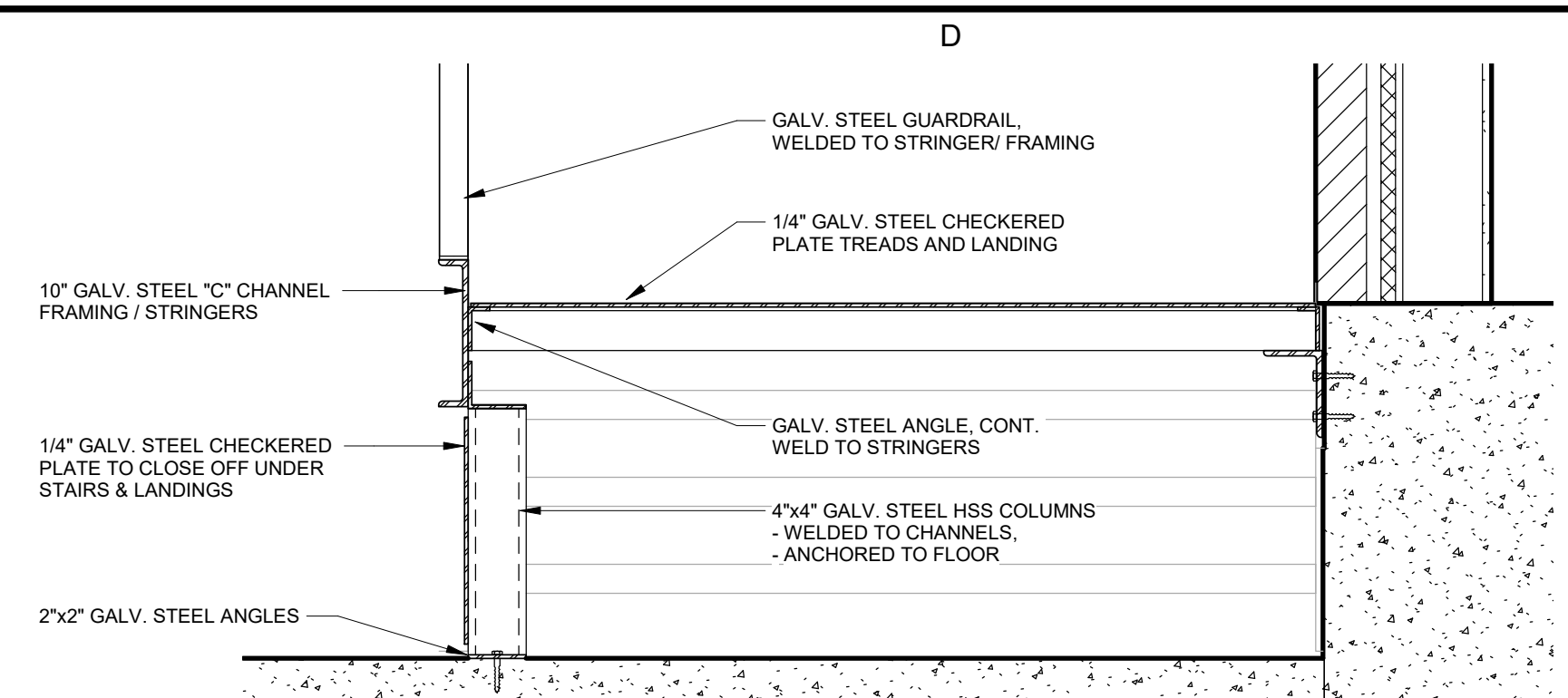
LV.1
WASHROOMS,
KITCHENETTE &
MAILBOXES

A403

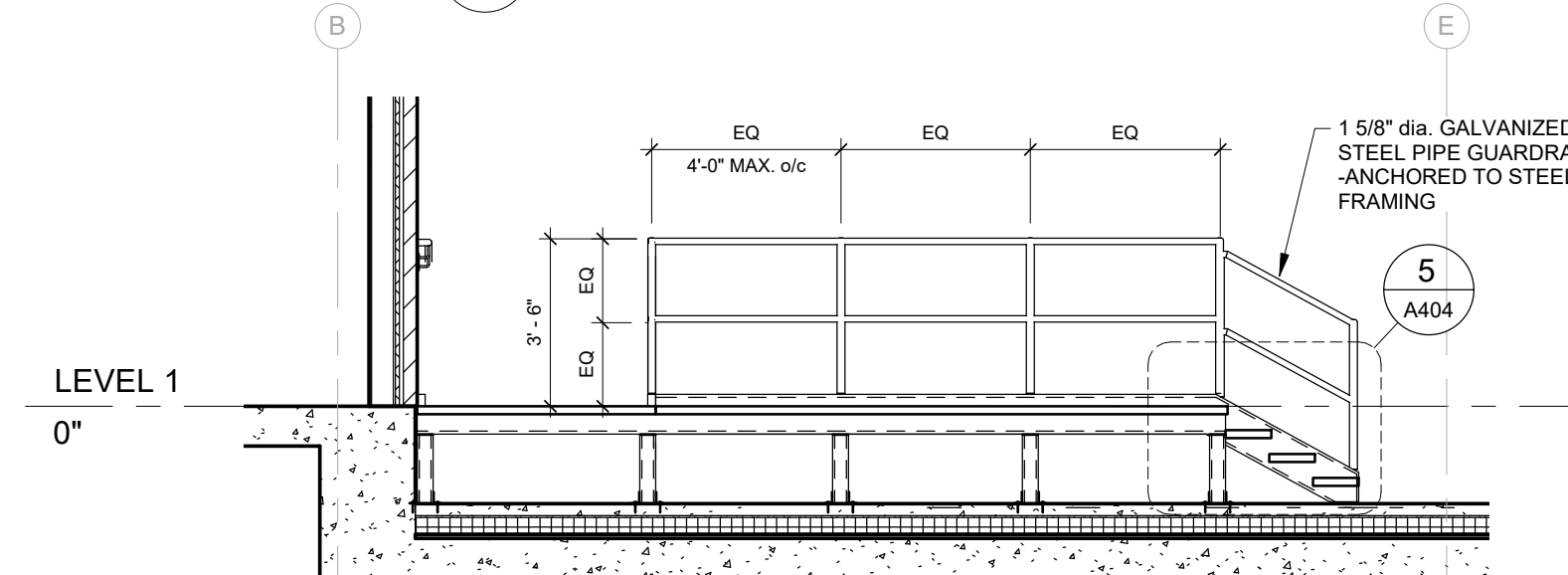


G.B. = GRAB BAR
C.T. = CHANGE TABLE
T.A. = TRANSITION AREA
H.D. = HAND DRYER

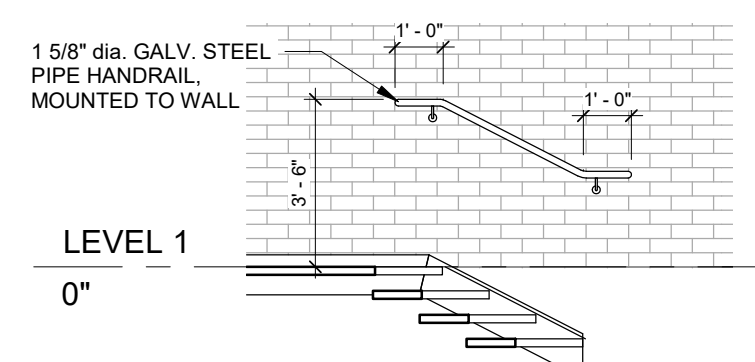




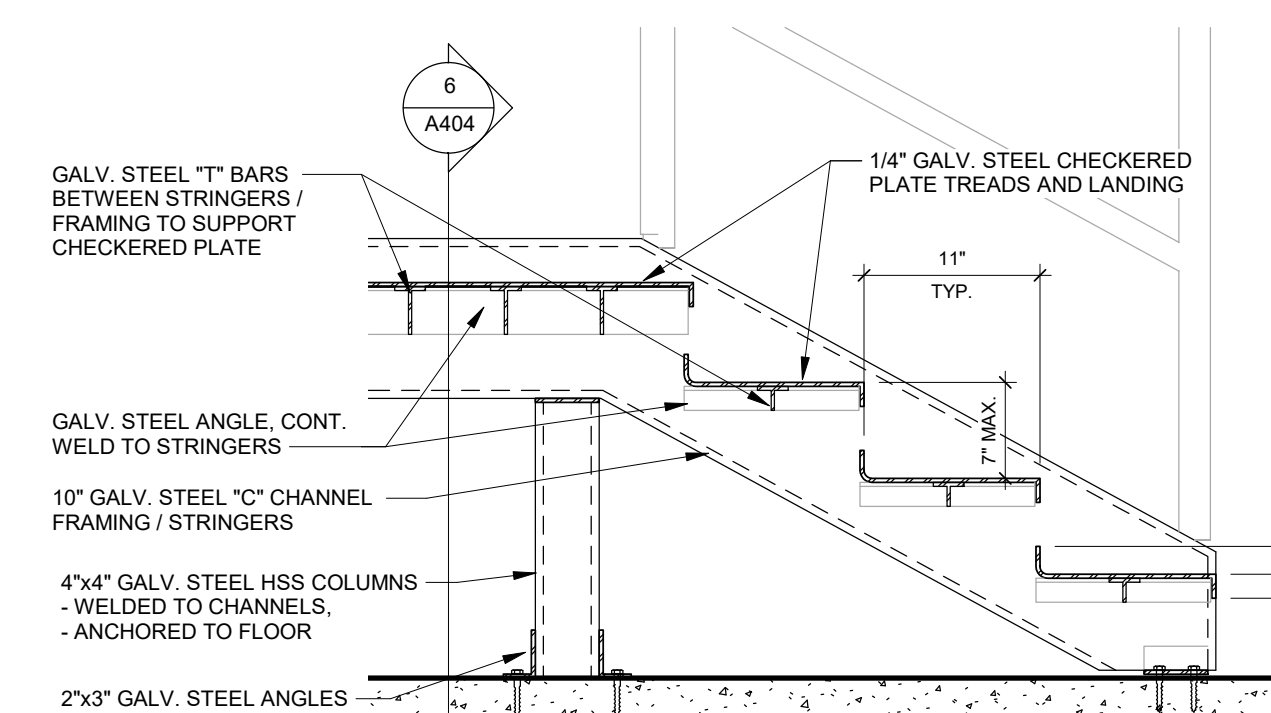
6 STEEL LANDING DETAIL
1" = 1'-0"



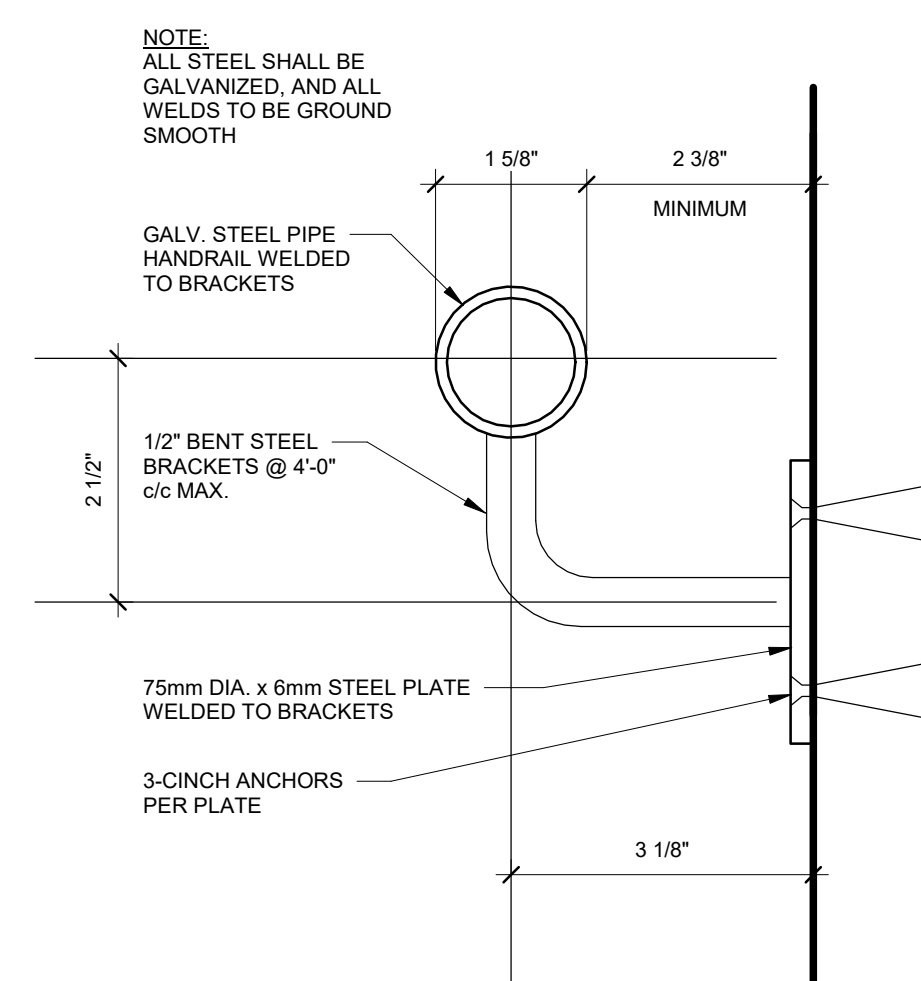
2 STEEL STAIR SECTION
1/4" = 1'-0"



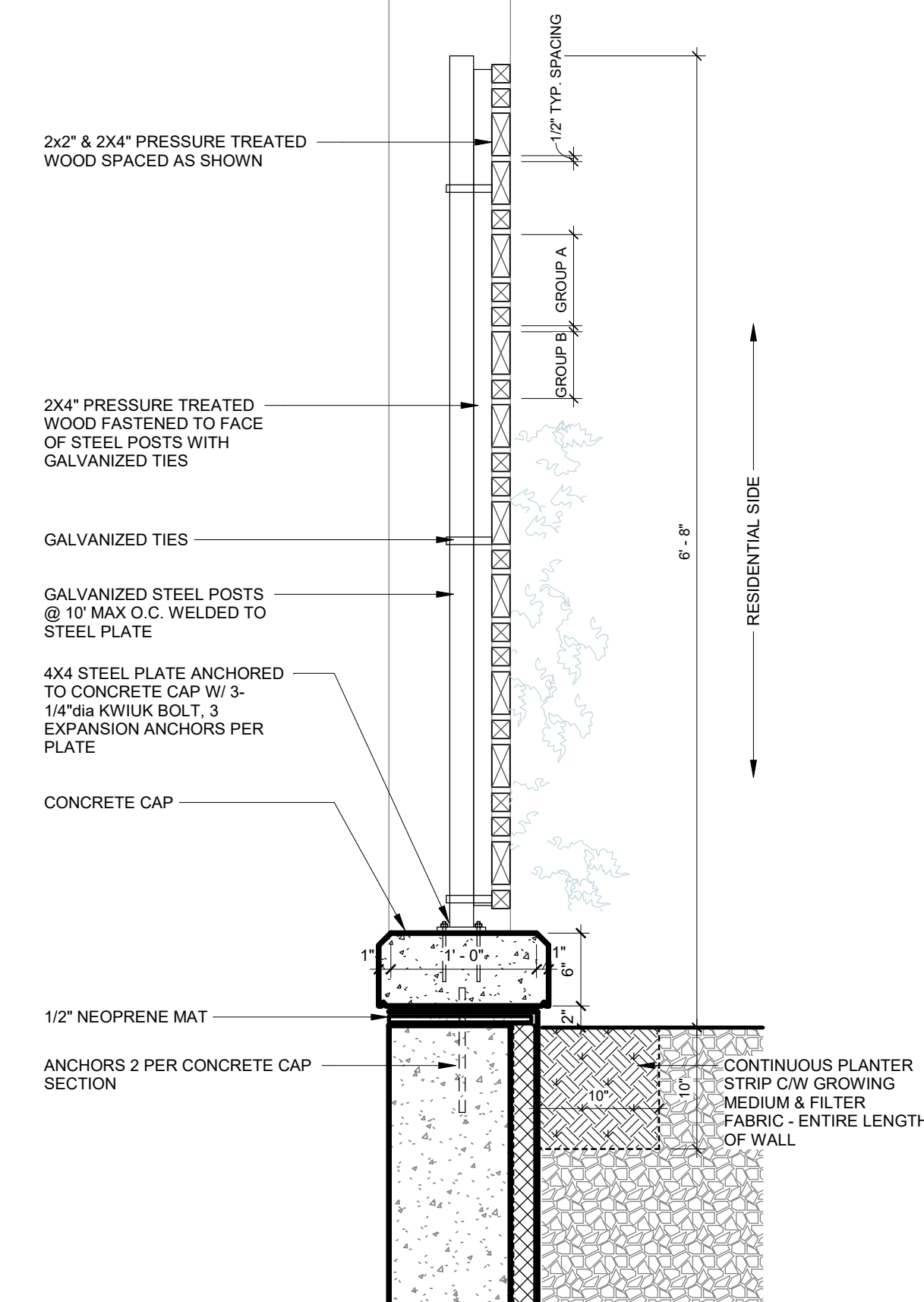
3 HANDRAIL ELEVATION



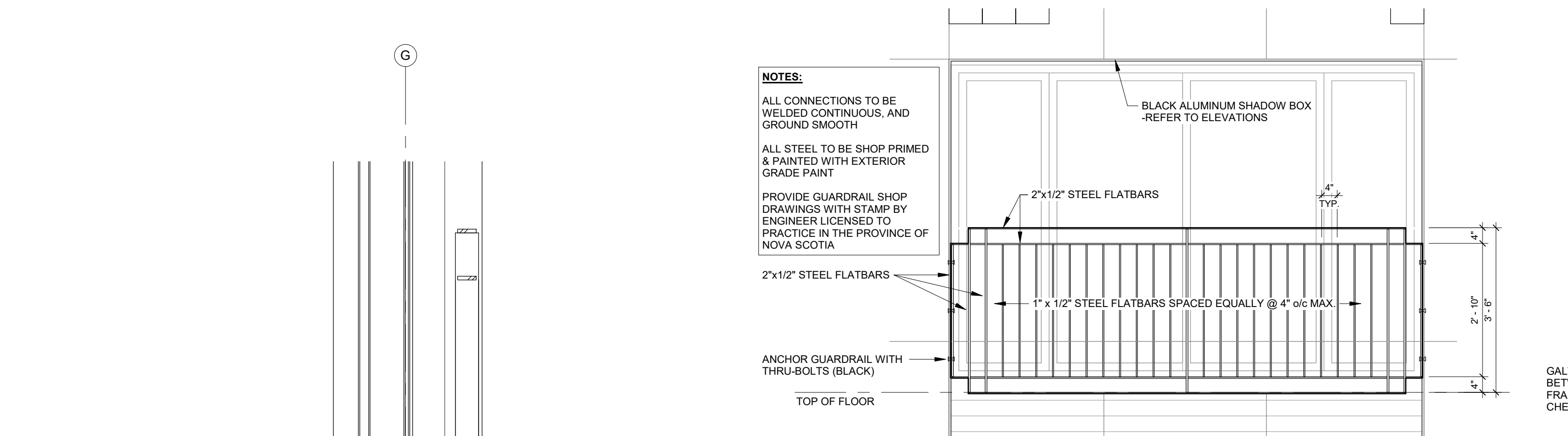
5 STEEL STAIR DETAIL
1" = 1'-0"



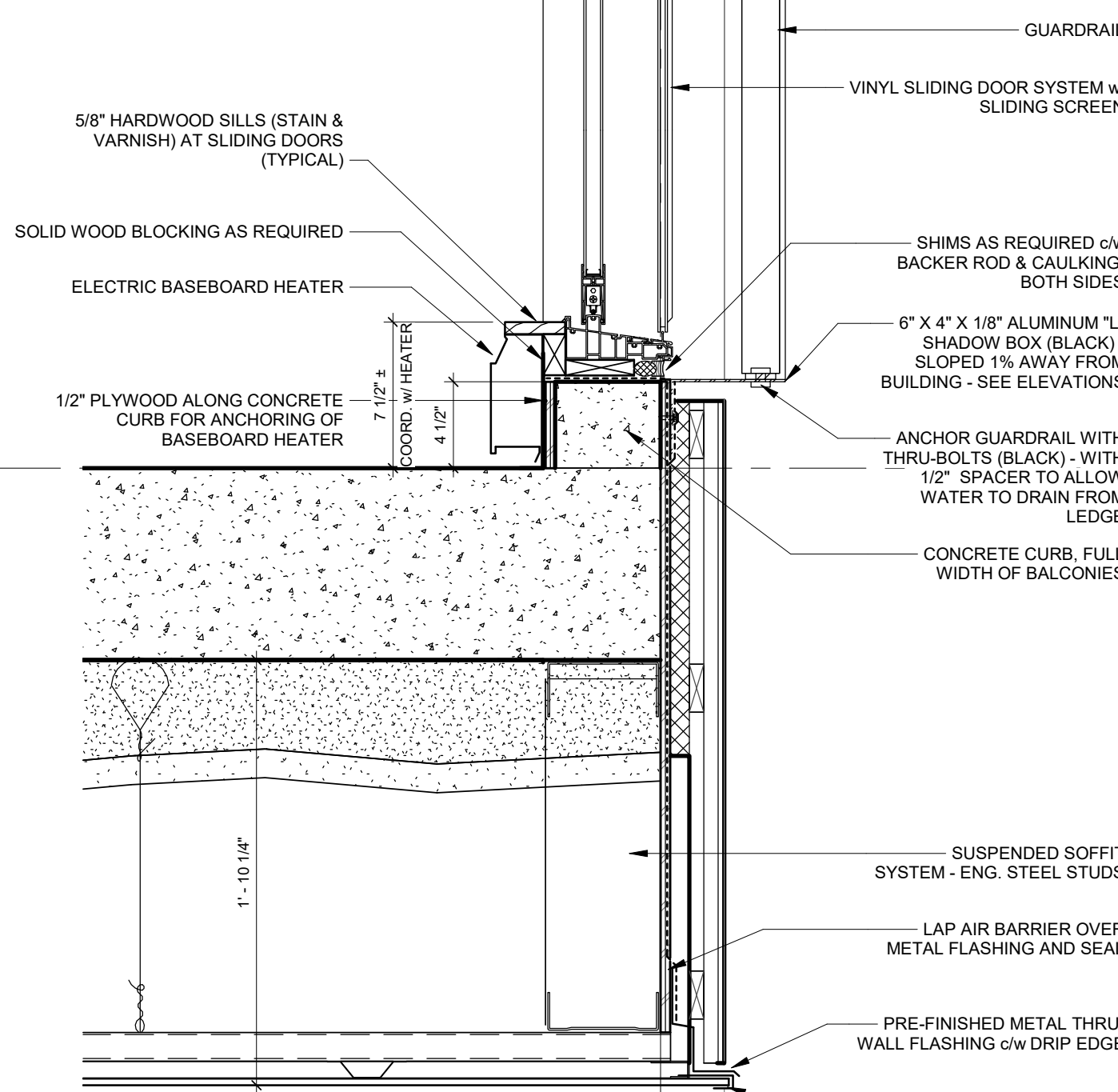
4 TYPICAL WALL MOUNTED HANDRAIL



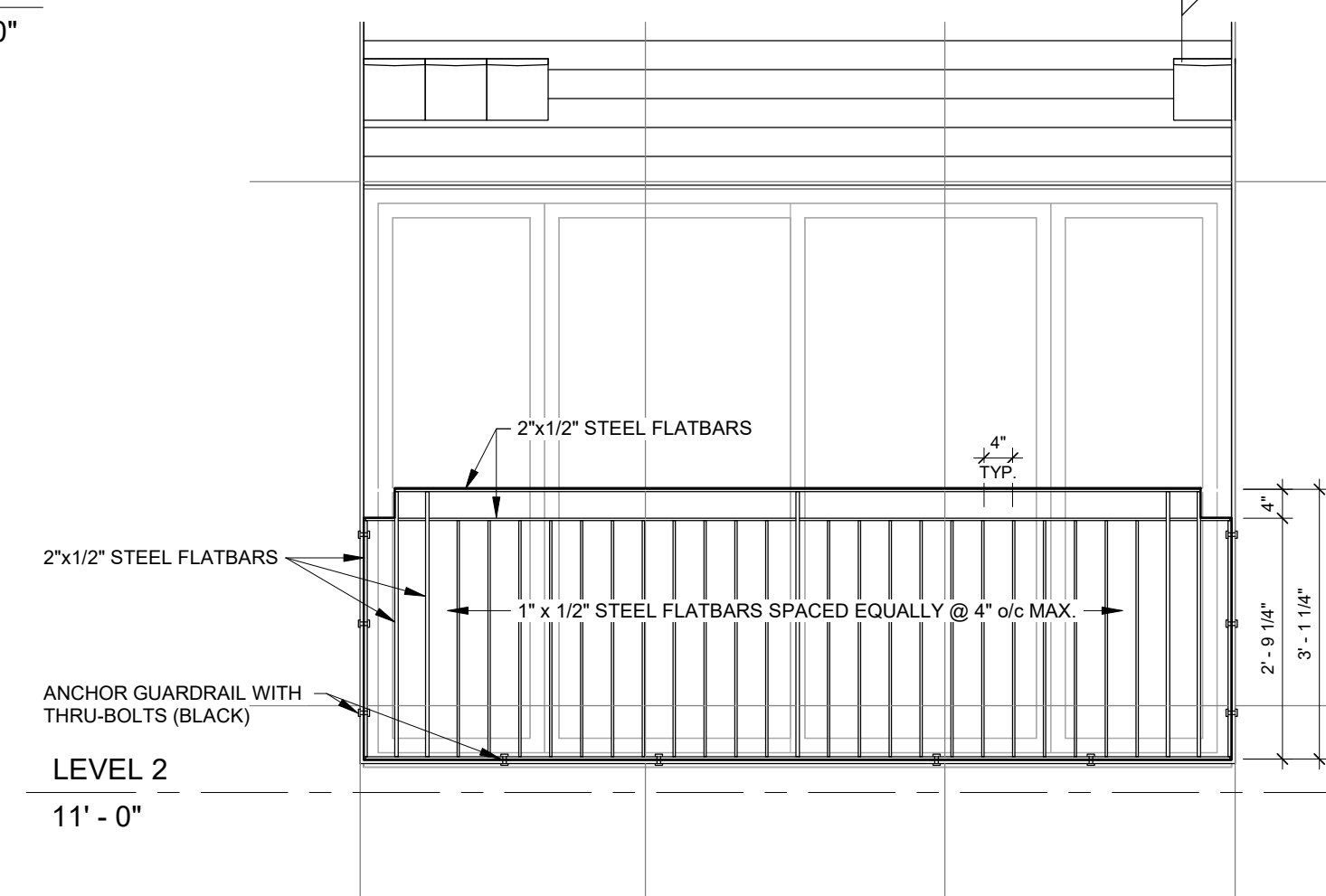
8 SCREEN/FENCE DETAIL
1" = 1'-0"



7 LEVEL 3 & 4 JULIETTE GUARDRAIL
1/2" = 1'-0"



9 SECTION AT JULIETTE BALCONY
1 1/2" = 1'-0"



10 LEVEL 2 JULIETTE GUARDRAIL
1/2" = 1'-0"



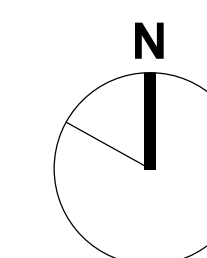
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Consultants

Stamp:



Plan North:



Project Name:

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City: Province:

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Project No.: 2017-016 216 Cohequid Rd

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Checked By: _____ Checker: _____

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Sheet Title:

FENCES, RAILS & GUARDRAIL ELEVATIONS AND DETAILS

Sheet No.:

A404



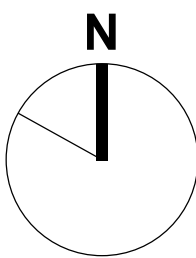
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Project No.: 2017-016 216 Cobequid Rd.

Drawn By: BM

Checked By: Checker

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Sheet Title:

UNIT LAYOUTS A,
B1, B2 & B3

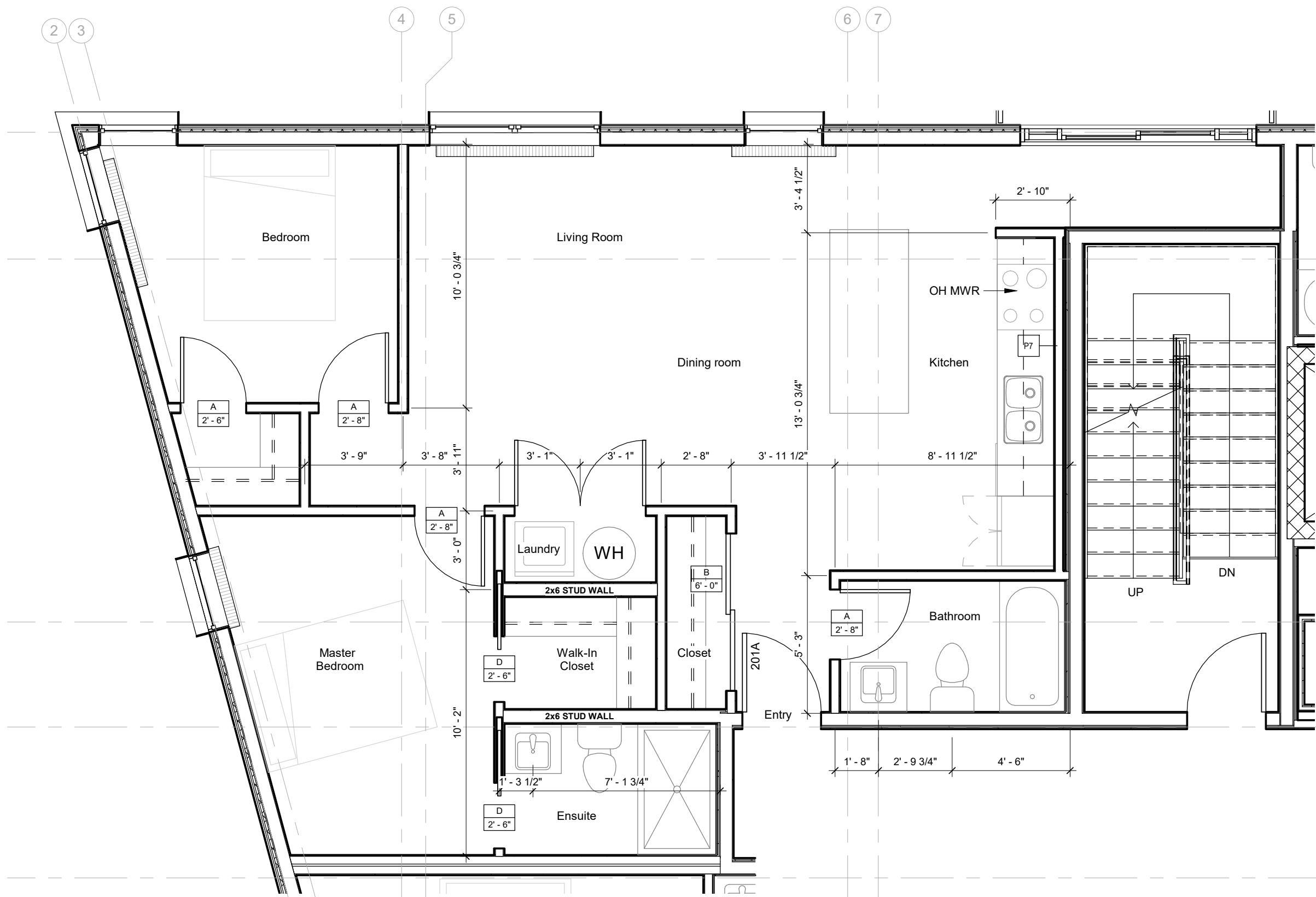
Sheet No.:

A405

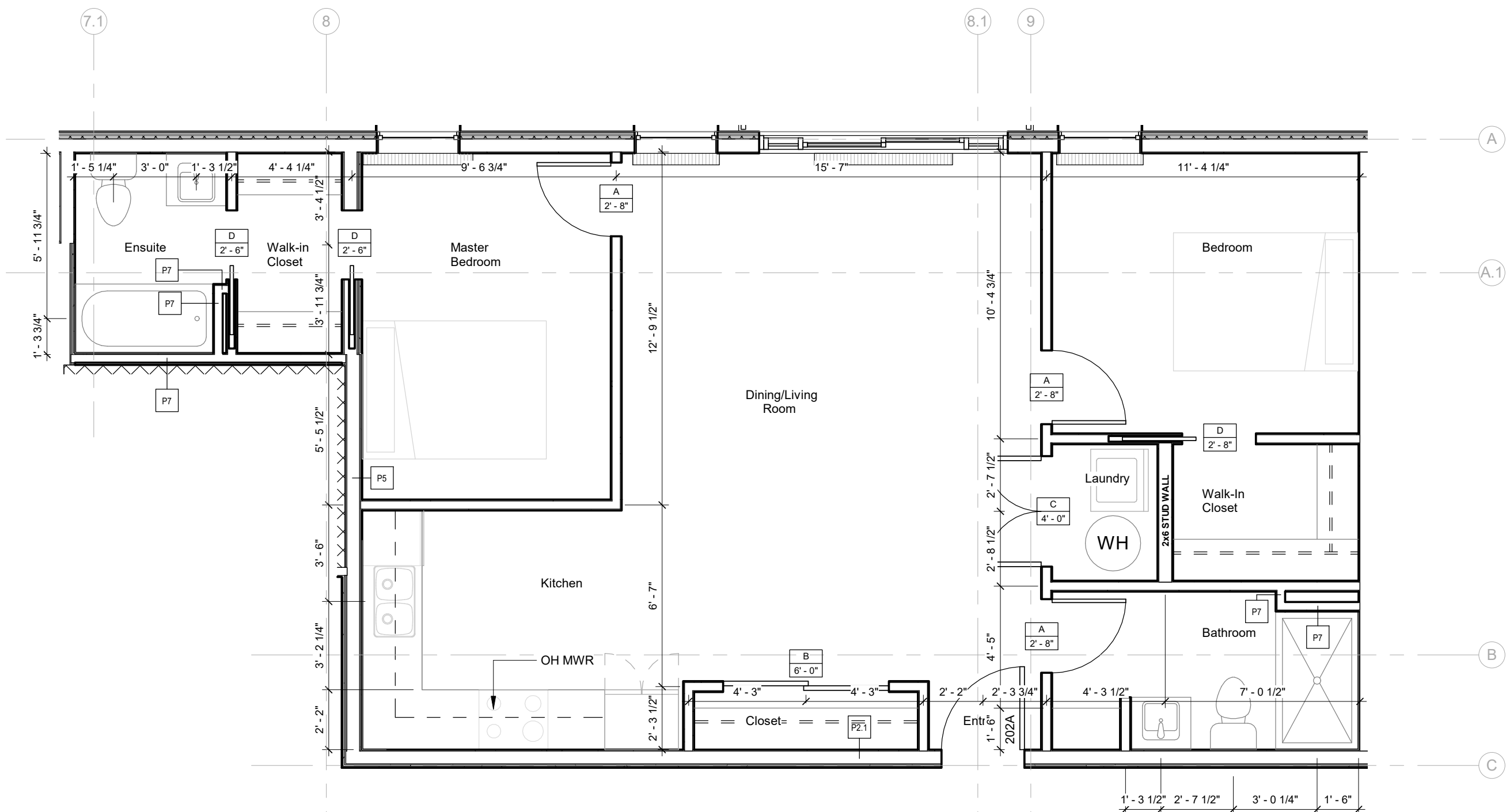
ALL PARTITIONS TO BE P3 UNLESS NOTED OTHERWISE

1. ALL INTERIOR UNIT DIMENSIONS ARE TO CENTER OF PARTITIONS, ALL DEMISING WALLS, CORRIDOR WALLS AND EXTERIOR WALLS ARE DIMENSIONED FROM FACE OF STUD.
2. ALL INTERIOR DOORS 4" MINIMUM FROM ADJACENT WALLS UNLESS NOTED OTHERWISE

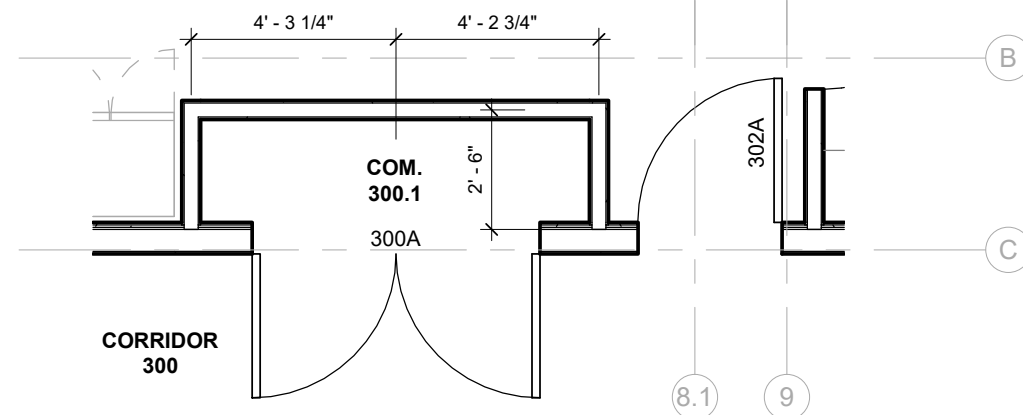
NOTE:
UNIT B1.1 IS IDENTICAL TO UNIT B1 (SHOWN ABOVE) WITH EXCEPTION OF CLOSET WHICH IS A COMMUNICATION ROOM AT LEVEL 3 ONLY.



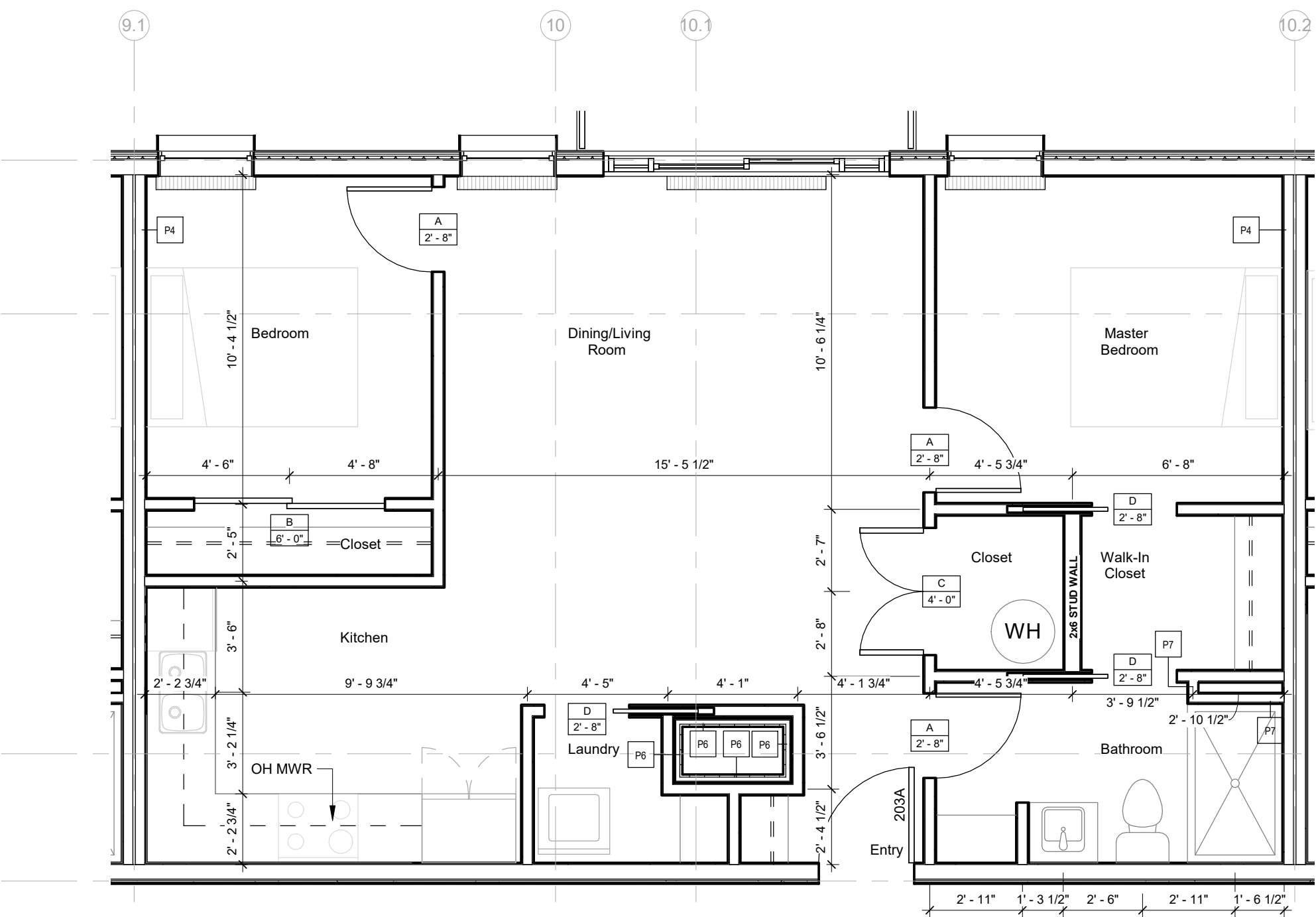
1 UNIT TYPE A - 850 sqft
1/4" = 1'-0"



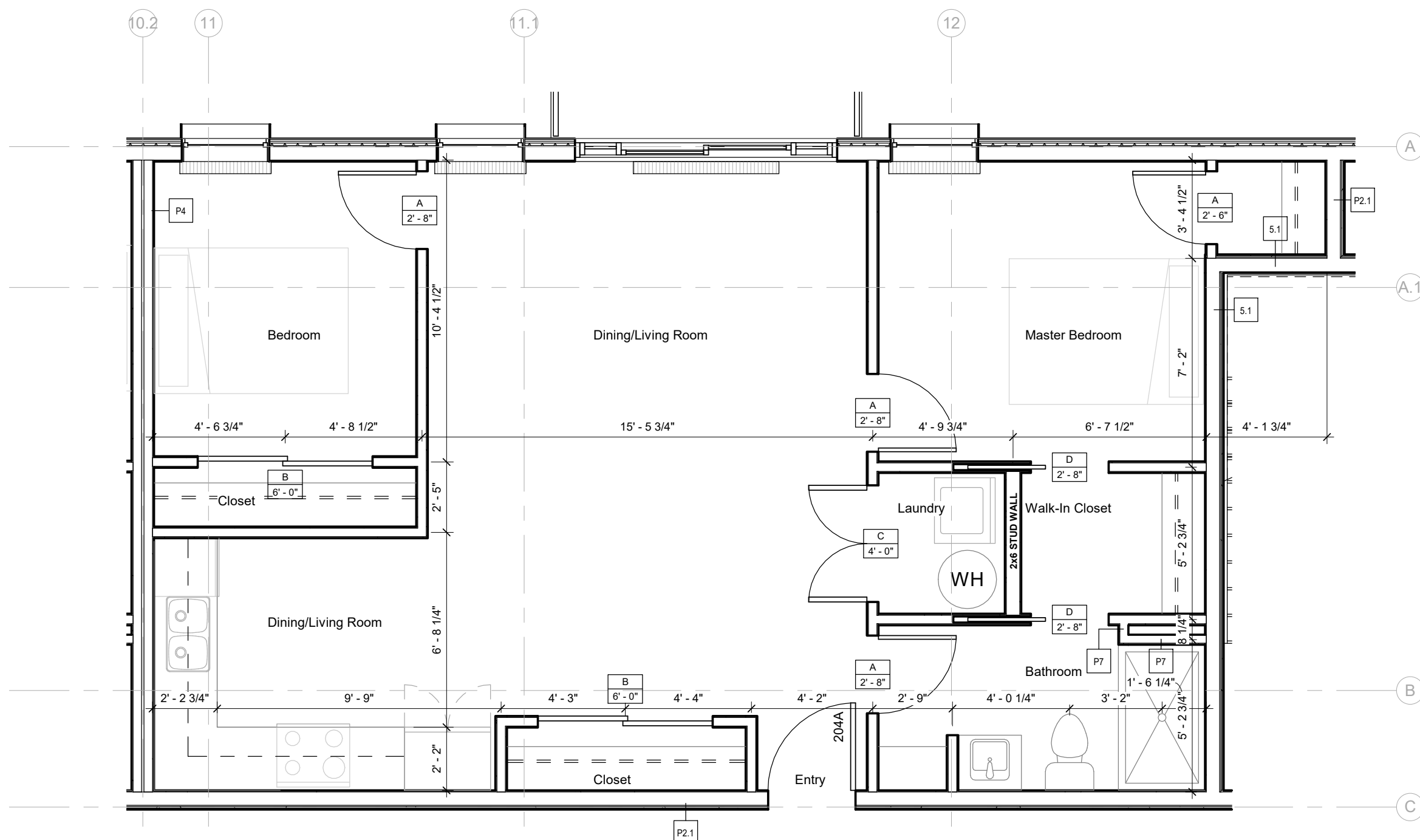
2 UNIT TYPE B1 - 858 sqft
1/4" = 1'-0"



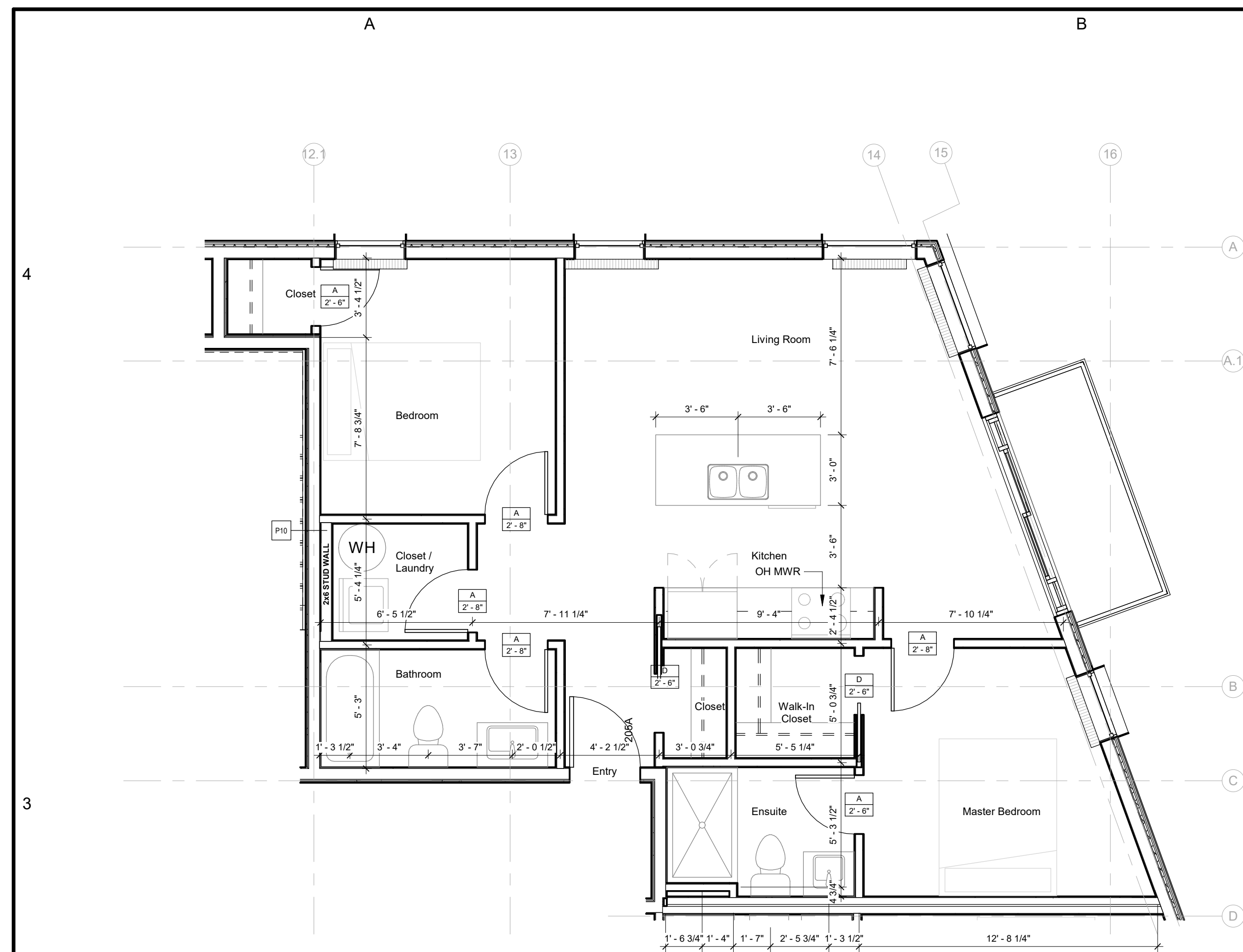
5 Unit B1.1 - Level 3 (Partial Enlargment)
1/4" = 1'-0"



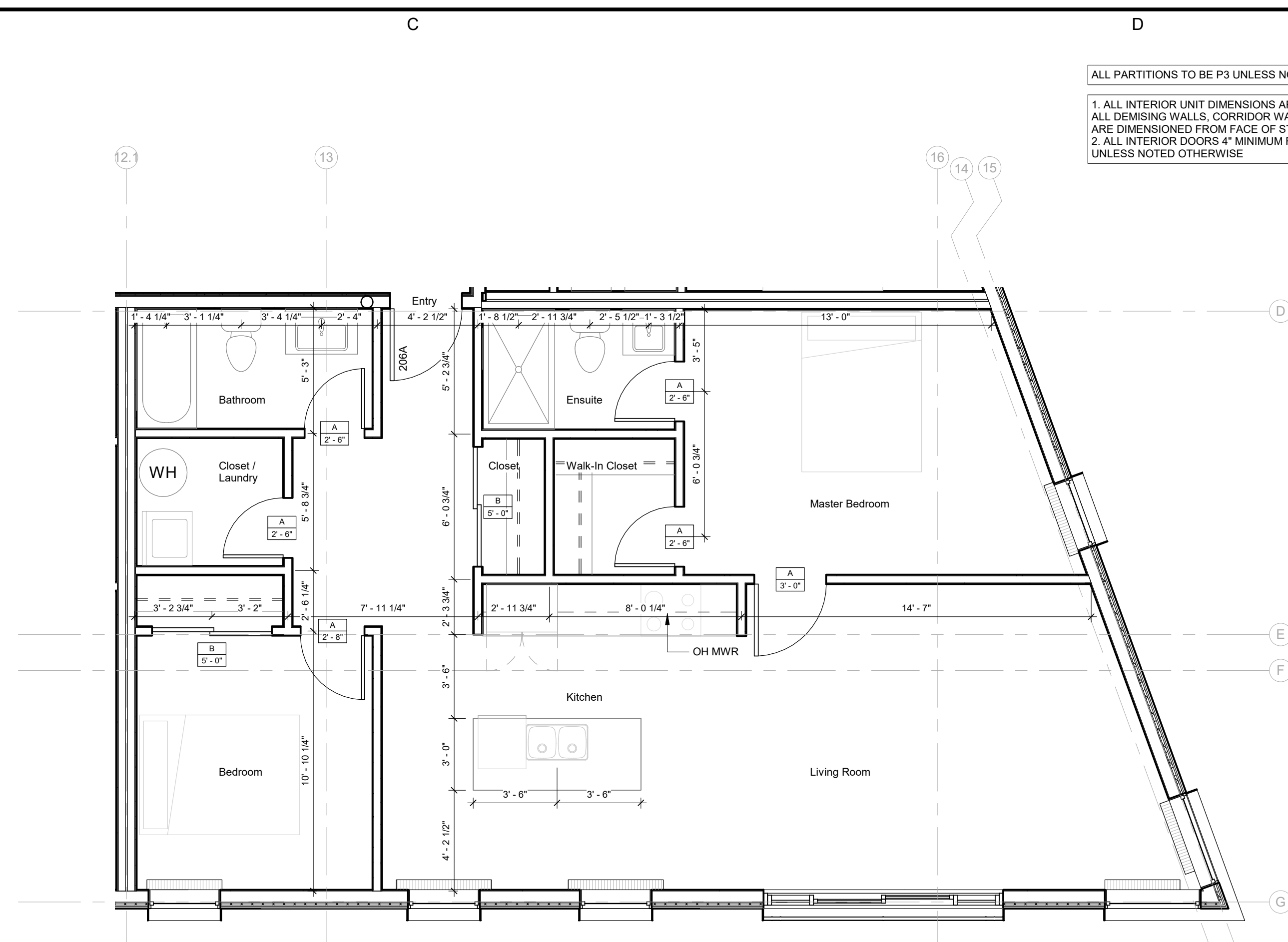
3 UNIT TYPE B2 - 771 sqft
1/4" = 1'-0"



4 UNIT TYPE B3 - 787 sqft
1/4" = 1'-0"



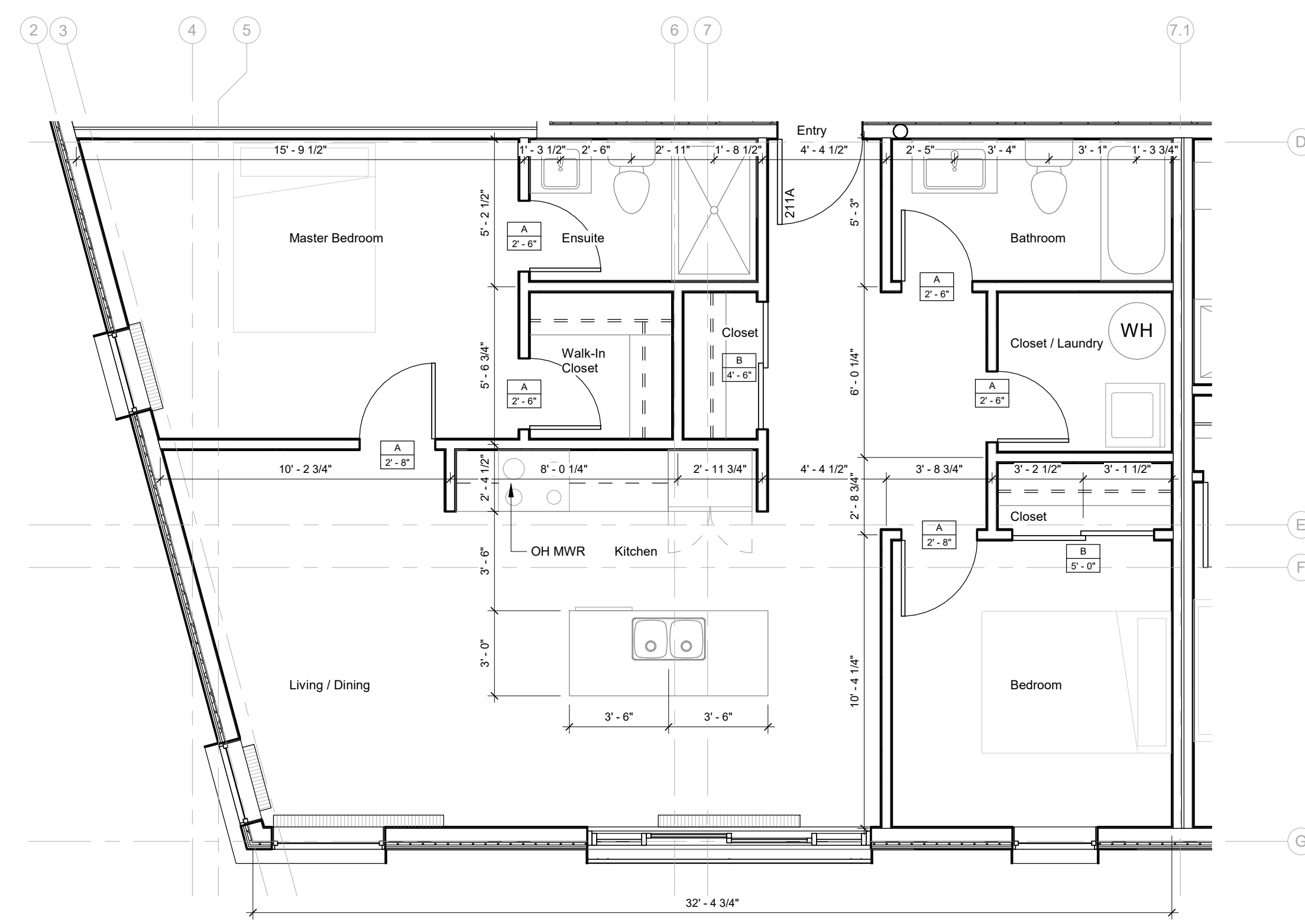
1 UNIT TYPE C - 759 sqft
1/4" = 1'-0"



2 UNIT TYPE D- 970 sqft
1/4" = 1'-0"



3 UNIT TYPE E - 754 sqft
1/4" = 1'-0"



4 UNIT TYPE F - 856 sqft
1/4" = 1'-0"



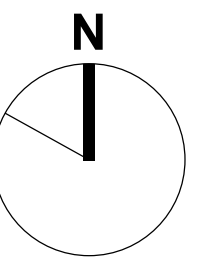
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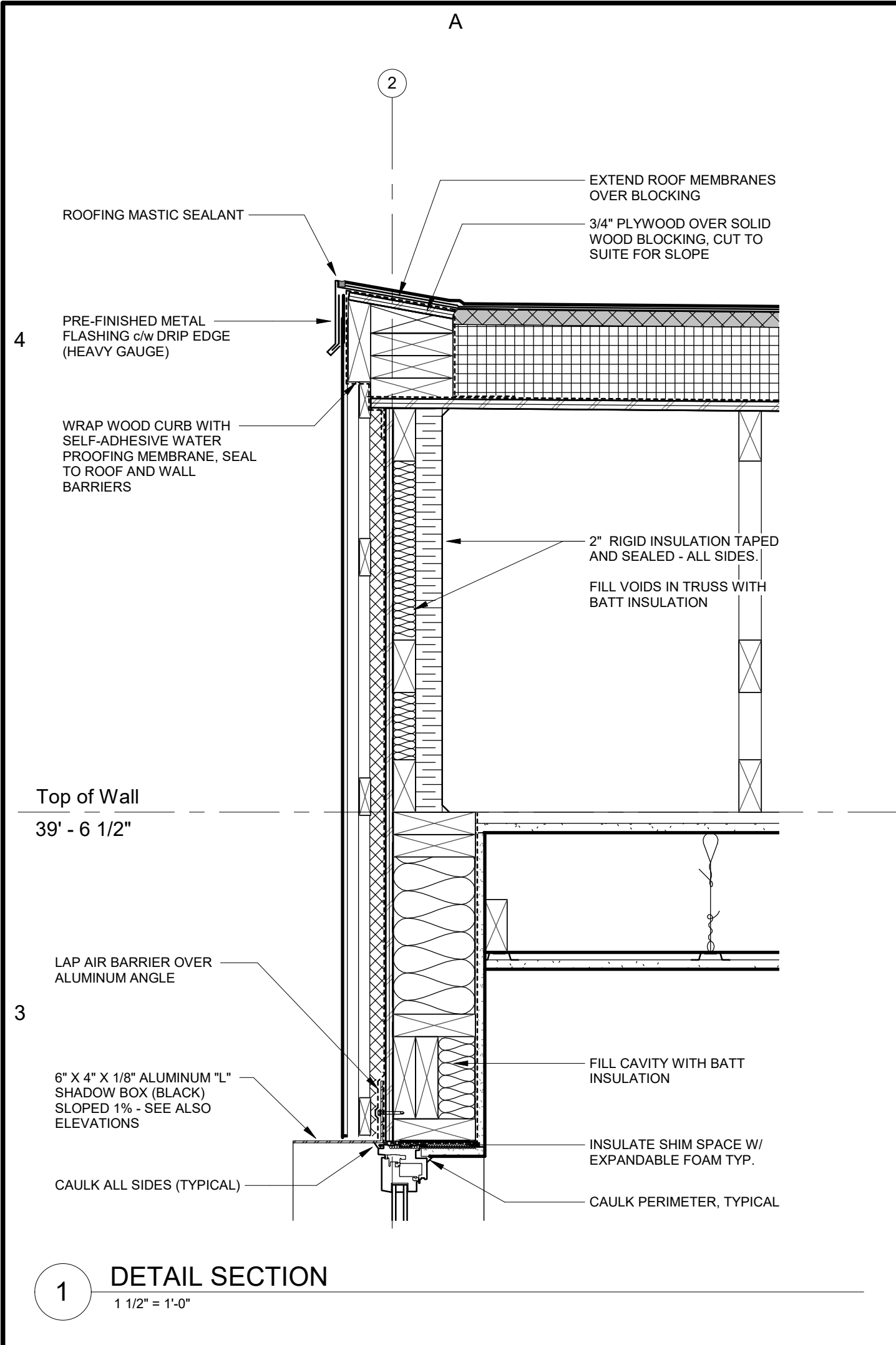
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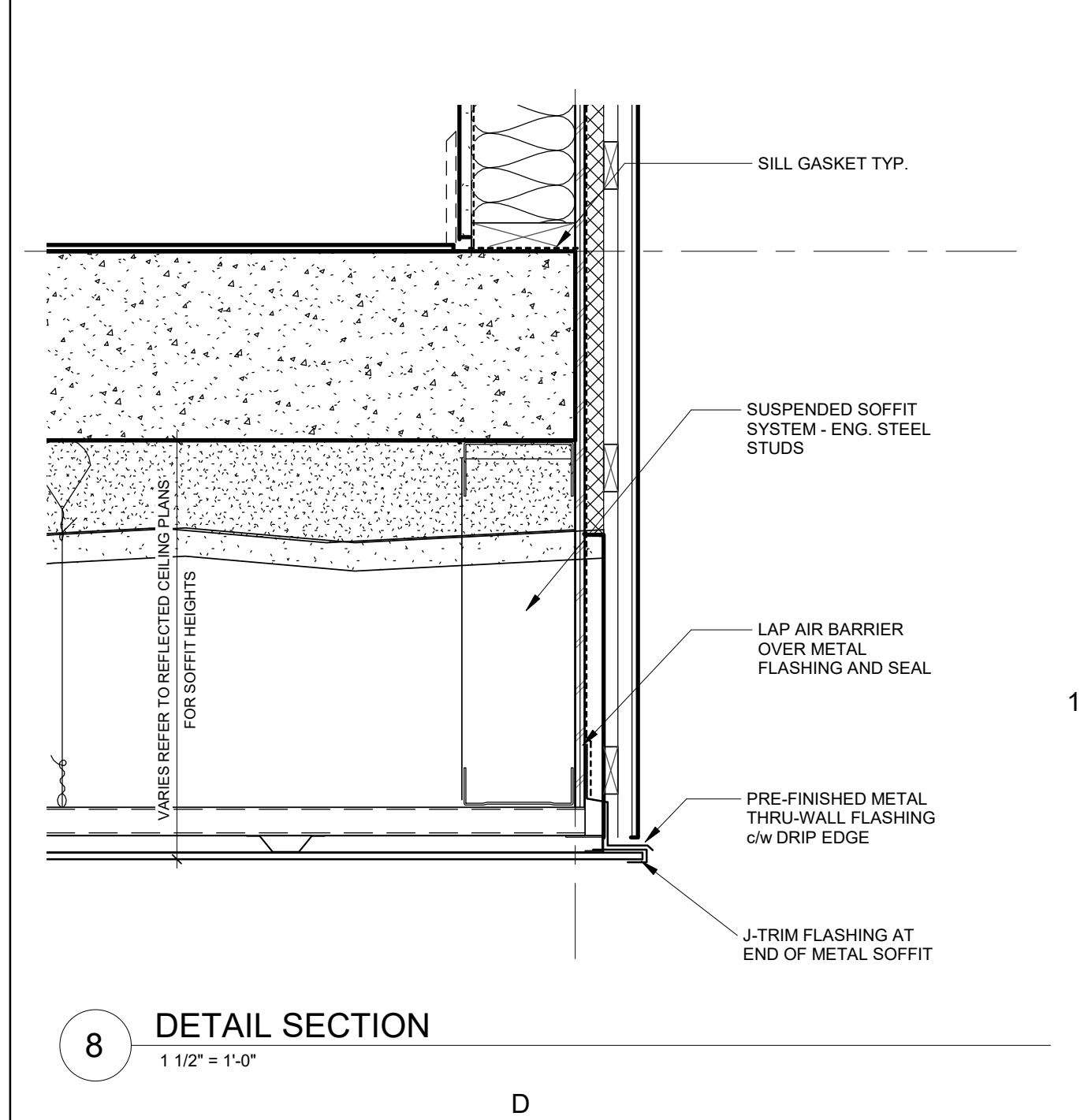
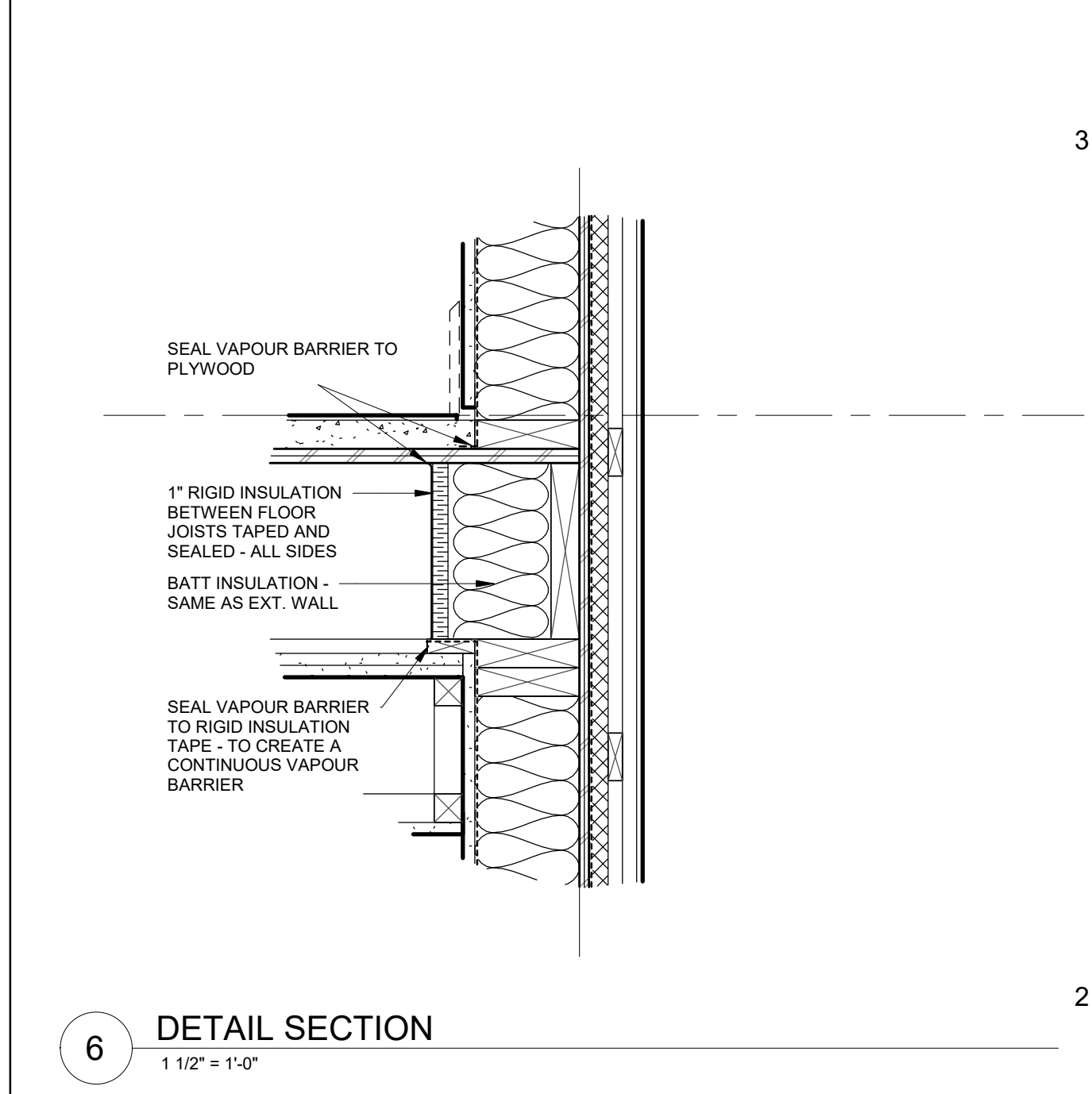
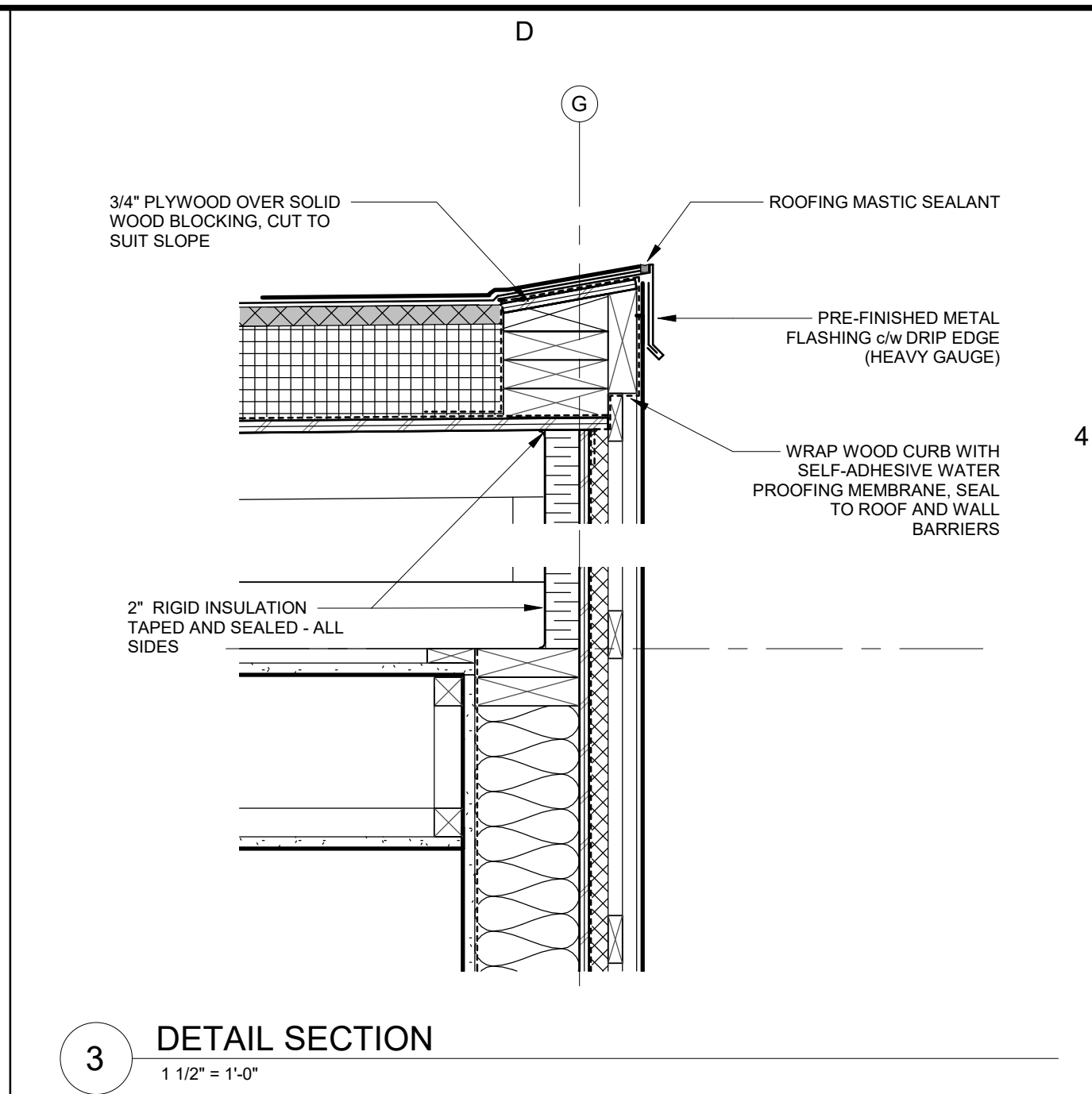
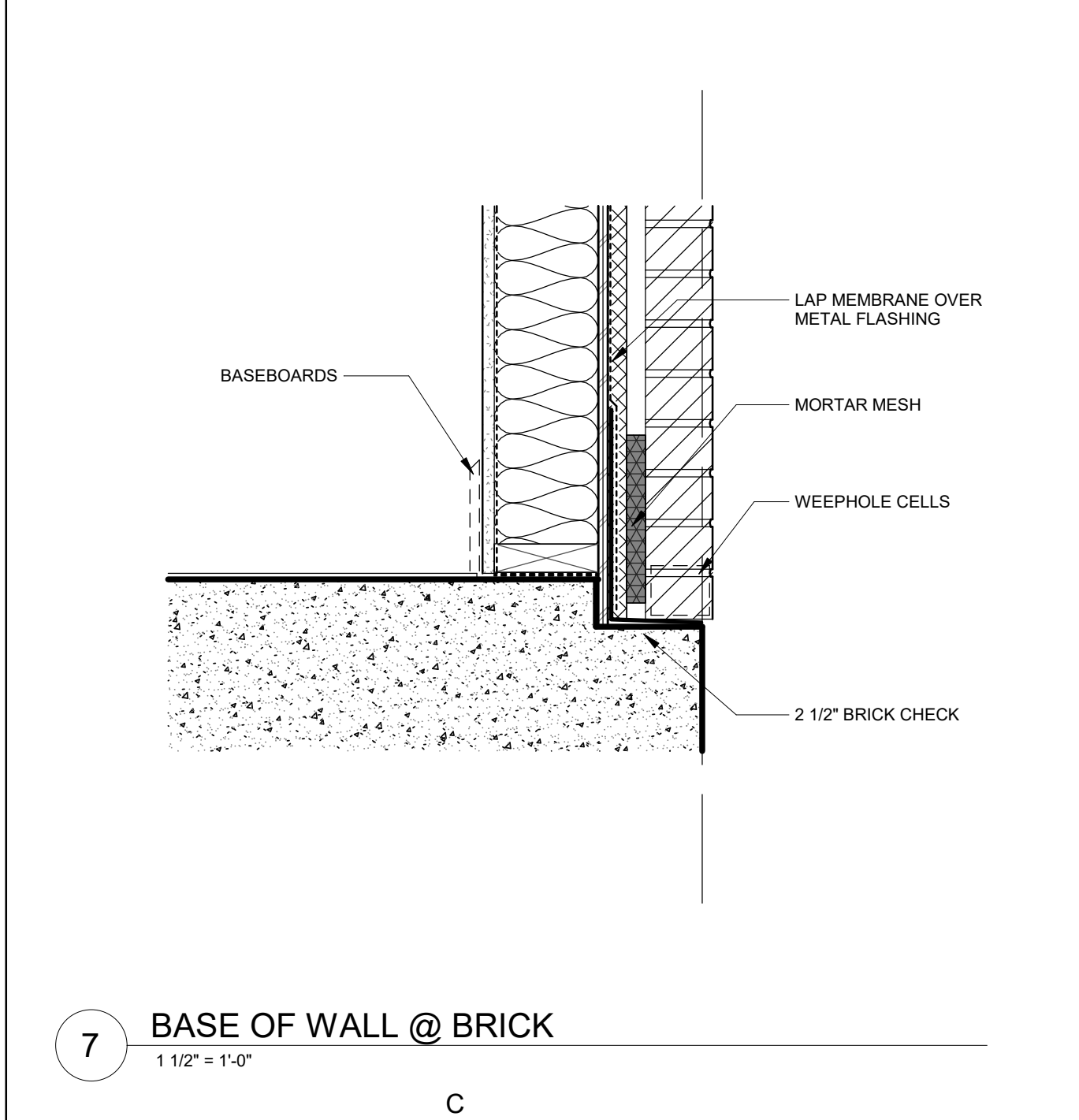
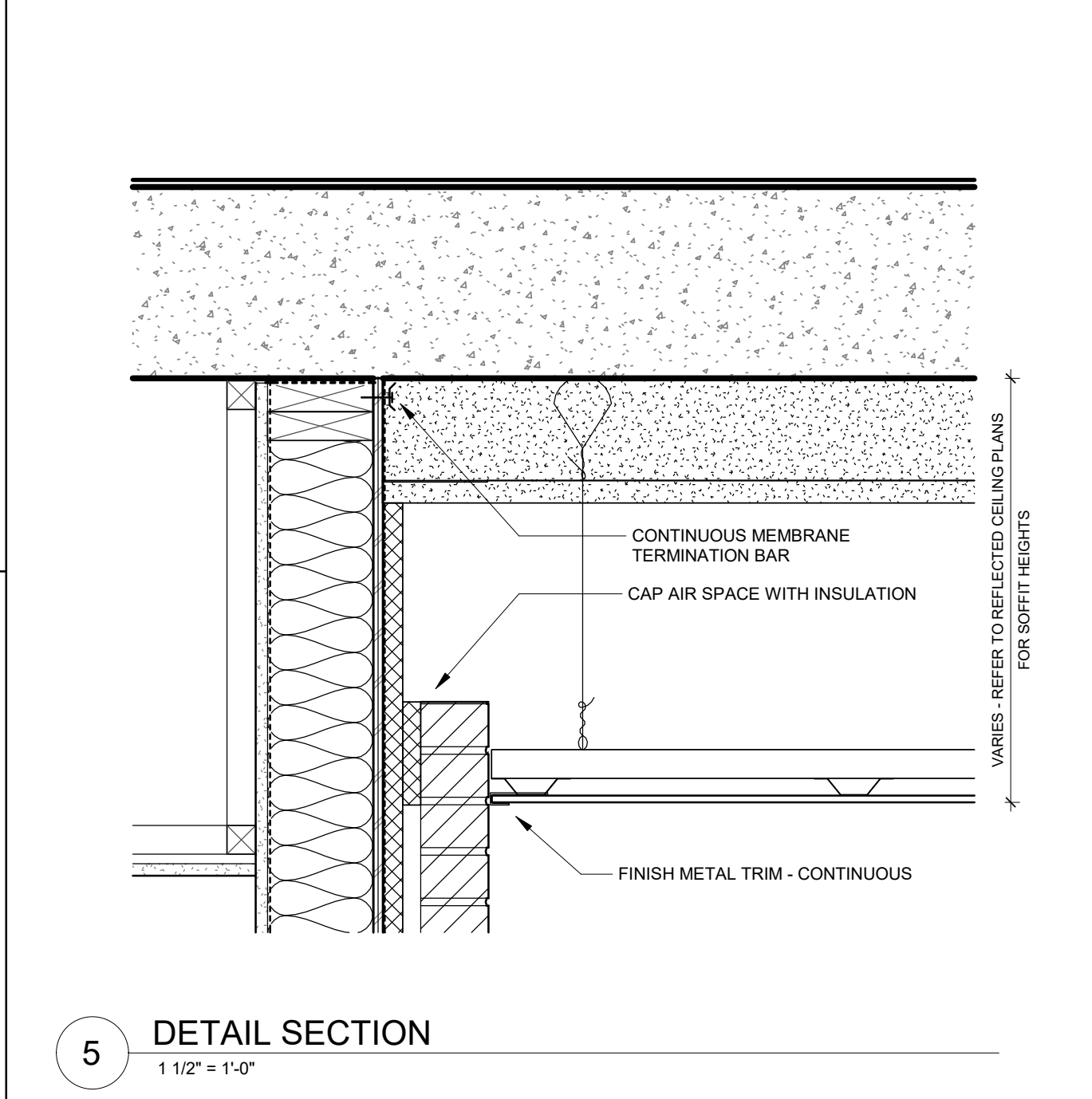
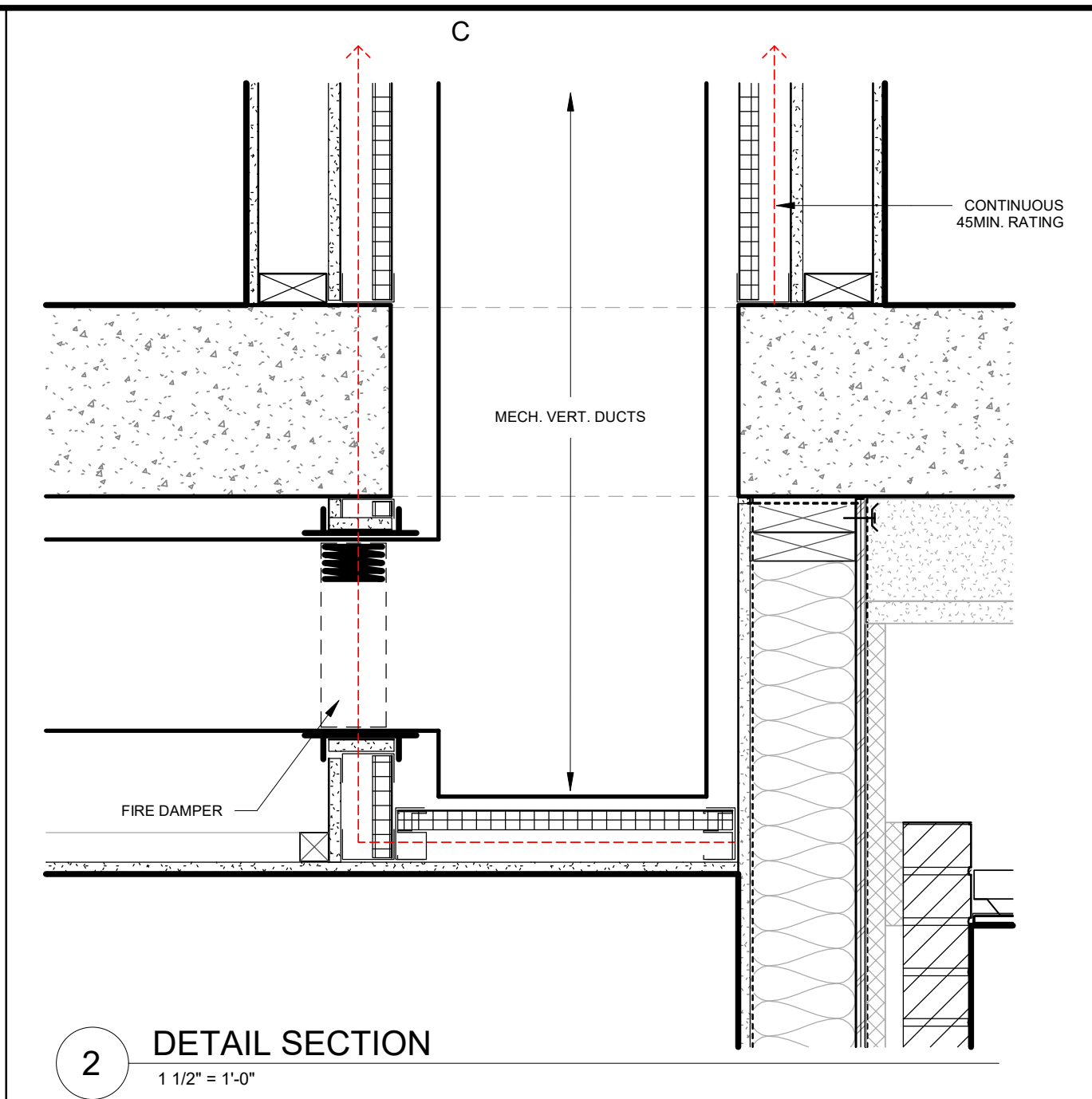
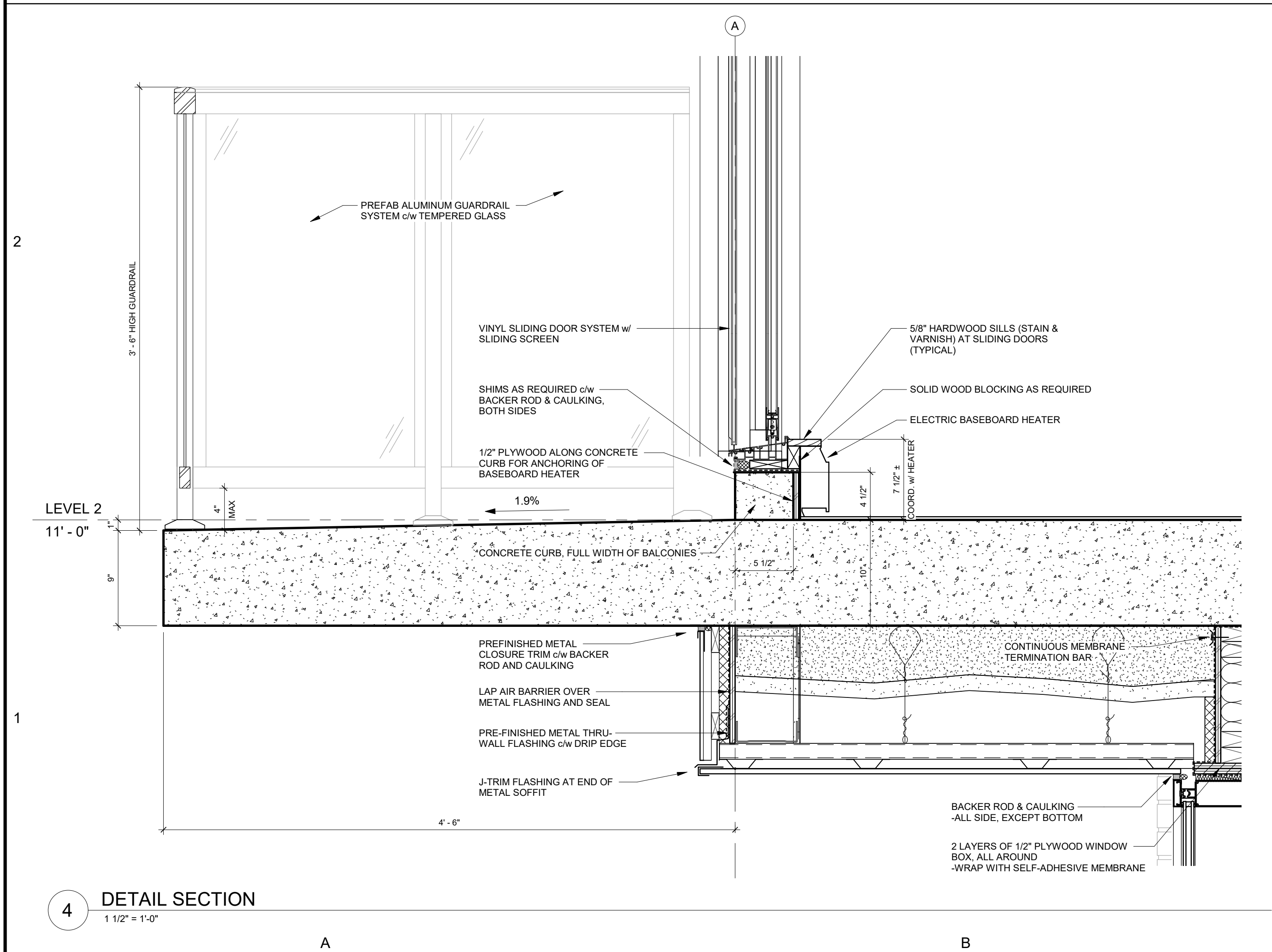
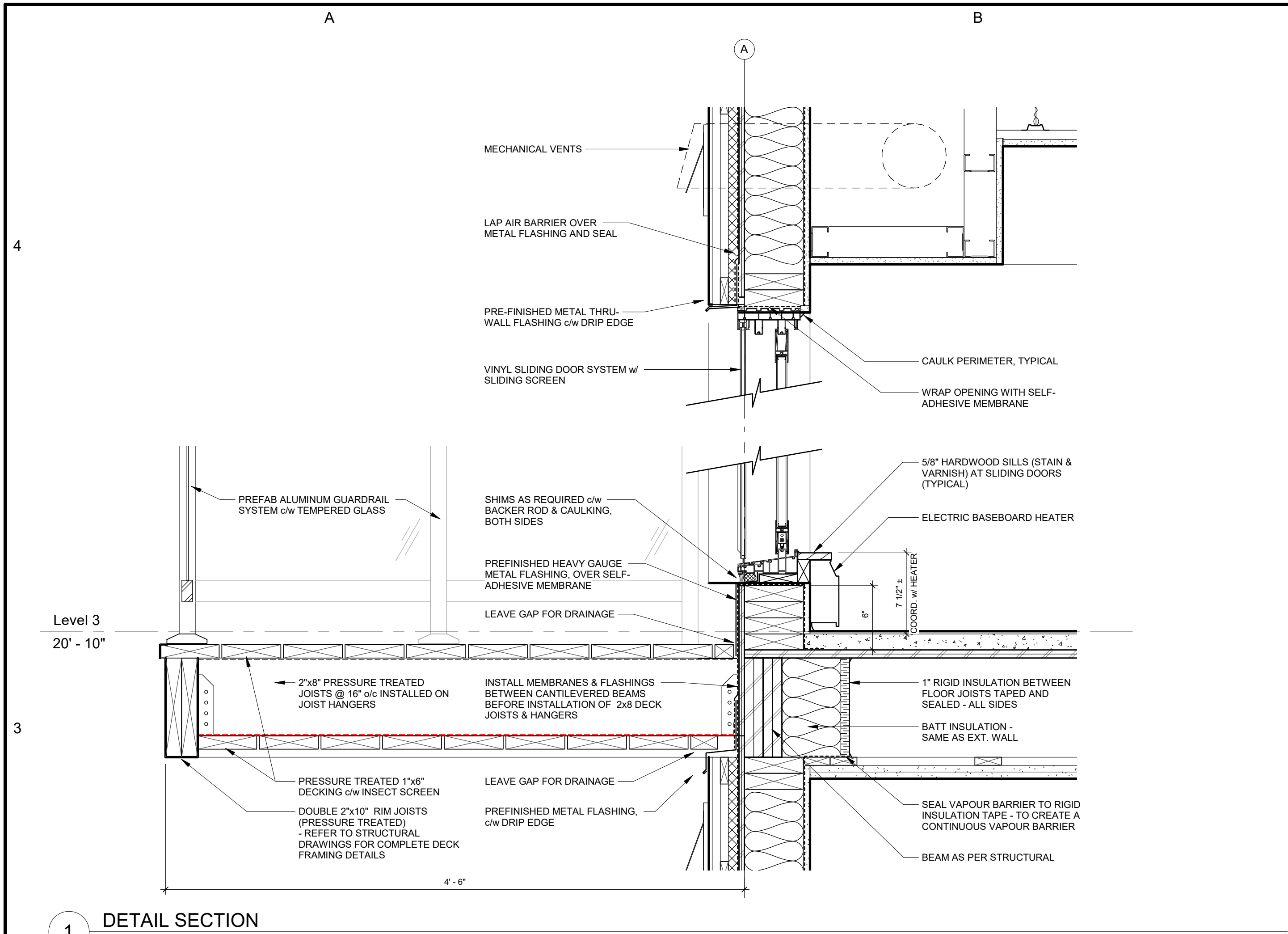
Sheet Title:

UNIT LAYOUTS C, D, E & F

Sheet No.:

A406





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Drawn By: RB, JL

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Approved By: Approver

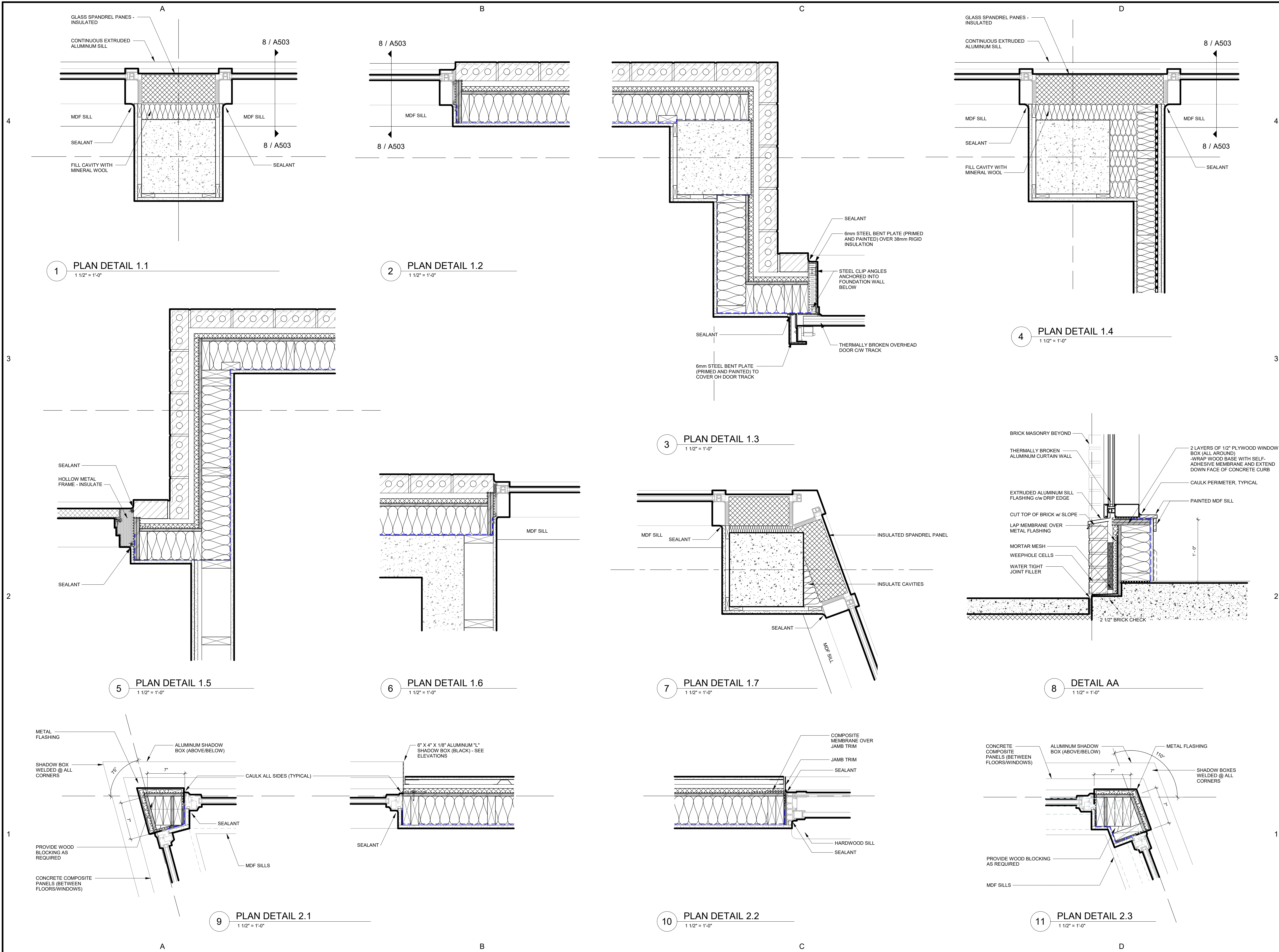
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DETAIL SECTIONS

Sheet No.:

A502



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Sheet Title:

PLAN DETAILS

Sheet No.: A503

4

DOOR SCHEDULE LEVEL P1																		
MARK	DOOR								FRAME				FIRE RATING LABEL	HARDWARE		NOTES		
	HT	W	THK	MATL	FIN	GLAZ	STYLE	W	HT	MATL	STYLE	FIN		GLZ	SET No.		KEYSIDE RM. No.	
00A	7'-0"	3'-0"	0'-2"	HM	PTD		D4			PS	F1	PTD		1hr	HG4			
00B	7'-0"	3'-0"	0'-2"	HM	PTD		D4			PS	F1	PTD		1hr	HG4			
001A	7'-0"	16'-0"	0'-2"	I.AL	PTD		D6			M		PTD					NOTE 1	
002A	7'-0"	6'-0"	0'-2"	HM	PTD		D3			PS	F2	PTD		45 min	HG4			
004A	7'-0"	3'-0"	0'-2"	HM	PTD		D1			PS	F1	PTD		45 min	HG5			
005A	7'-0"	3'-0"	0'-2"	HM	PTD		D1			PS	F1	PTD		45 min	HG5			
006A	7'-0"	3'-0"	0'-2"	HM	PTD		D1			PS	F1	PTD		45 min	HG5			
007	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
008	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
009	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
010	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
011	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
012	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
013	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
014	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
015	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
016	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
017	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
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019	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
020	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			
021	6'-8"	3'-0"	0'-2"	CLF	GALV		D7			CLF		GLAV			PL			

3

DOOR SCHEDULE LEVEL 1																		
MARK	DOOR								FRAME				FIRE RATING LABEL	HARDWARE		NOTES		
	HT	W	THK	MATL	FIN	GLAZ	STYLE	LOUVER	W	HT	MATL	STYLE		FIN	GLZ		SET No.	KEYSIDE RM. No.
10A	7'-0"	3'-0"	0'-2"	WD	V	WG	D4				PS	F1	PTD		45 min	HG4		
11A	7'-0"	3'-0"	0'-2"	HM	PTD		D4				PS	F1	PTD		45 min	HG12		
101A	7'-0"	3'-0"	0'-2"	WD	V		D5				HM	F1	PTD			HG7	102	
102A	7'-0"	6'-0"	0'-2"	AL	B.AN	IG.T	D2				AL		B.AN	IG.T		HG1	EXTERIOR	
102B	7'-0"	3'-0"	0'-2"	IN.M	PTD		D1				PS	F1	PTD			HG5	EXTERIOR	
103A	7'-0"	6'-0"	0'-2"	WD	V	T	D2				PS	F3	PTD	T		HG6	102	
104A	7'-0"	3'-0"	0'-2"	WD	V		D1				PS	F1	PTD			HG6	102	
105A	7'-0"	3'-0"	0'-2"	WD	V		D1				PS	F1	PTD			HG11		
106B	7'-0"	3'-0"	0'-2"	IN.M	PTD		D1				PS	F1	PTD			HG12		
107A	7'-0"	3'-0"	0'-2"	WD	V	T	D5				PS	F1	PTD			HG6	111	
108A	7'-0"	3'-0"	0'-2"	WD	V	T	D5				PS	F1	PTD			HG6	111	
109A	7'-0"	3'-0"	0'-2"	WD	V	T	D5				PS	F1	PTD			HG6	111	
110A	7'-0"	3'-0"	0'-2"	WD	V	T	D5				PS	F1	PTD			HG6	111	
111A	7'-0"	3'-0"	0'-2"	WD	V		D1				PS	F1	PTD			HG7	118	
113A	7'-0"	3'-0"	0'-2"	WD	V		D1				PS	F1	PTD			HG6	111	
114A	7'-0"	3'-0"	0'-2"	WD	V		D1				PS	F1	PTD			HG6	111	
115A	7'-0"	3'-0"	0'-2"	WD	V		D1				PS	F1	PTD			HG6	111	
116A	7'-0"	3'-0"	0'-2"	WD	V		D1				PS	F1	PTD			HG6	111	
117A	7'-0"	3'-0"	0'-2"	WD	V		D1				PS	F1	PTD			HG6	118	
118A	7'-0"	3'-0"	0'-2"	IN.M	PTD		D1				PS	F1	PTD			HG8	EXTERIOR	
118B	7'-0"	3'-0"	0'-2"	WD	V	T	D5				PS	F1	PTD			HG13		
119A	7'-0"	3'-0"	0'-2"	WD	V		D1				PS	F1	PTD			HG6	118	
120A	7'-0"	3'-0"	0'-2"	WD	V		D1				PS	F1	PTD			HG11		
121A	7'-0"	3'-0"	0'-2"	HM	PTD		D1				PS	F1	PTD			HG8	121	
122A	7'-0"	3'-0"	0'-2"	IN.M	PTD		D1				PS	F1	PTD			HG8	EXTERIOR	
123A	7'-0"	3'-0"	0'-2"	WD	V	T	D5				PS	F1	PTD			HG7	121	
125A	7'-0"	3'-0"	0'-2"	WD	V	T	D5				PS	F1	PTD			HG7	121	
125B	7'-0"	3'-0"	0'-2"	IN.M	PTD		D1				PS	F1	PTD			HG12		
126A	7'-0"	3'-0"	0'-2"	HM	PTD		D1				PS	F1	PTD		45 min	HG13		
126B	7'-0"	3'-0"	0'-2"	HM	PTD		D1				PS	F1	PTD			HG13		
126C	8'-0"	6'-0"	0'-1"	I.AL	B.AN		D6										NOTE 3	
127A	7'-0"	6'-0"	0'-2"	AL	B.AN	T	D2				AL		B.AN			HG3		
127B	7'-0"	6'-0"	0'-2"	I.AL	B.AN	IG.T	D2				AL		B.AN			HG2		

2

DOOR SCHEDULE LEVEL 2																		
MARK	DOOR								FRAME				FIRE RATING LABEL	HARDWARE		NOTES		
	SIZE				MATL	FIN	GLAZ	STYLE	LOUVER		MATL	STYLE		FIN	GLZ		SET No.	KEYSIDE RM. No.
	HT	W	THK						W	HT								
20A	7'-0"	3'-0"	0'-2"	WD	V	WG	D4			PS	F1	PTD		45 min	HG4	200		
21A	7'-0"	3'-0"	0'-2"	WD	V	WG	D4			PS	F1	PTD		45 min	HG4	200		
201A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	200		
202A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	200		
203A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	200		
204A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	200		
205A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	200		
206A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	200		
207A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	200		
208A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	200		
209A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	200		
210A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	200		
211A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	200		

1

DOOR SCHEDULE LEVEL 3																		
DOOR										FRAME				FIRE RATING LABEL	HARDWARE		NOTES	
MARK	SIZE			MATL	FIN	GLAZ	STYLE	LOUVER		MATL	STYLE	FIN	GLZ		SET No.	KEYSIDE RM. No.		
	HT	W	THK					W	HT									
30A	7'-0"	3'-0"	0'-2"	WD	V	WG	D4			PS	F1	PTD		45 min	HG4			
31A	7'-0"	3'-0"	0'-2"	WD	V	WG	D4			PS	F1	PTD		45min	HG4			
300A	7'-0"	6'-0"	0'-2"	HM	PTD		D3			PS	F2	PTD		45 min	HG6	300		
301A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	300		
302A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	300		
303A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	300		
304A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	300		
305A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	300		
306A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	300		
307A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	300		
308A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	300		
309A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	300		
310A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	300		
311A	7'-0"	3'-0"	0'-2"	WD	V		D1			PS	F1	PTD		45 min	HG9	300		



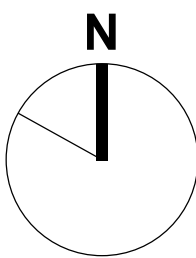
1660 Hollis Street, Suite 1101
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t.902.404.8383 f.902.404.8368
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Consultants:

Stamp:



Plan North:



Project Name:

216 Cobequid

City: Province:

Client: FH Development Group

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B	2021-05-17	Issued for Construction
A	2021-04-01	Issued for Permit
MARK	DATE	DESCRIPTION

REVISION SCHEDULE

Date (yyyy-mm-dd): 2021-05-17

Project No.: 2017-016 216 Cobequid Rd.

Drawn By: JL

Checked By: Checker

Approved By: Approver

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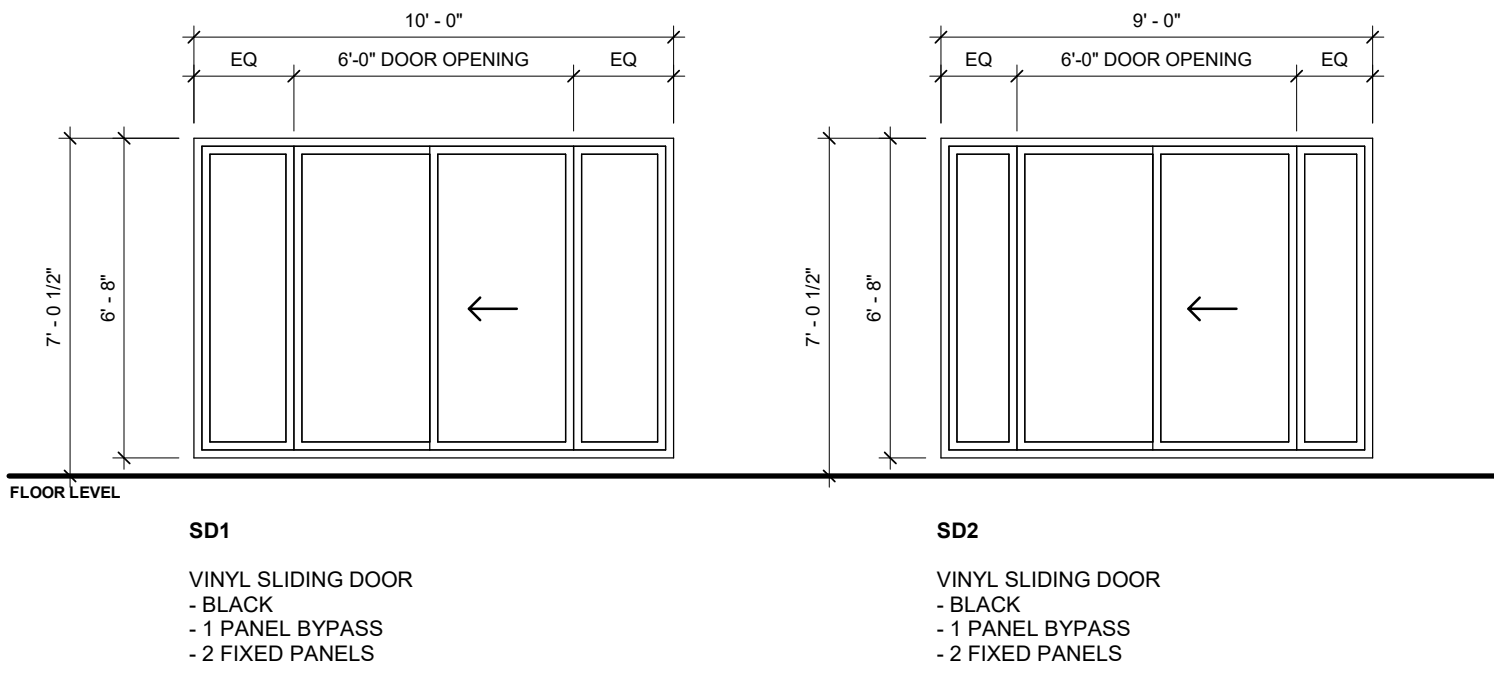
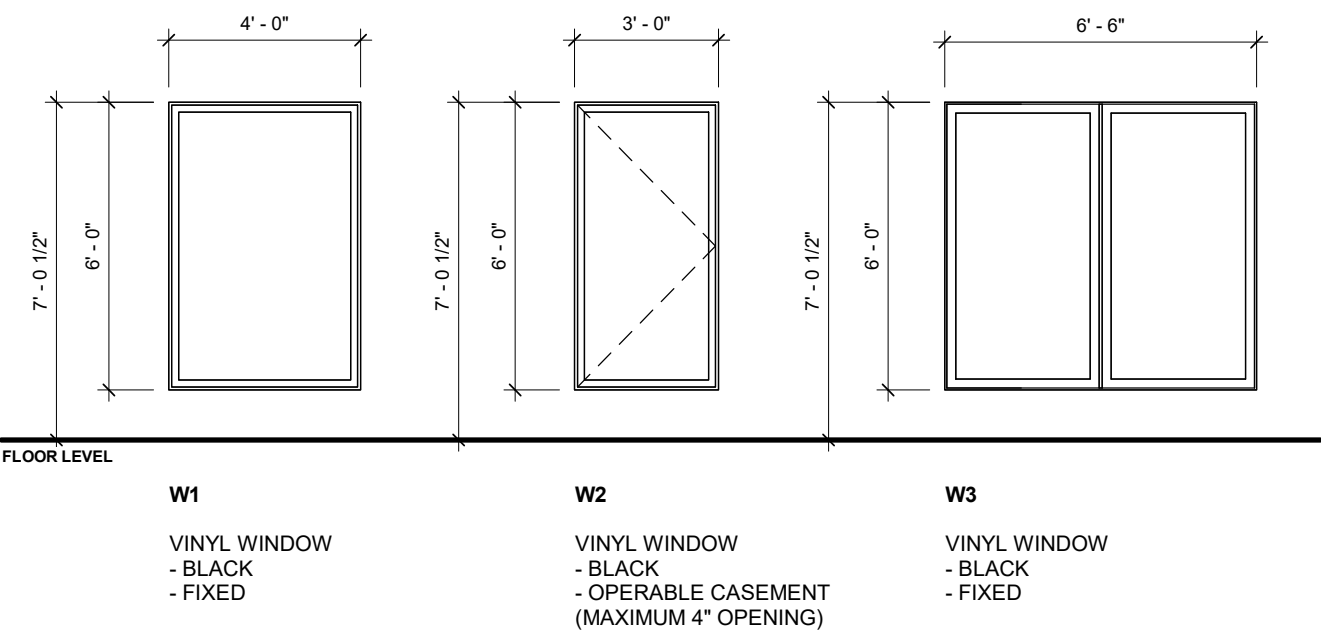
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WINDOW
ELEVATIONS

Sheet No.:

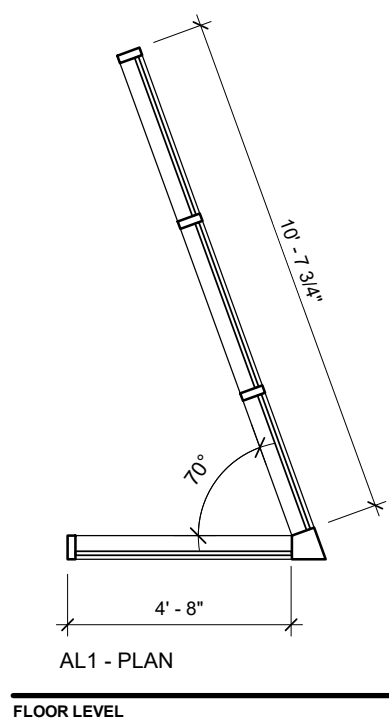
A602

NOTE:
ALL DIMENSIONS REPRESENT ROUGH OPENINGS.
COORDINATE WINDOW & DOOR DIMENSIONS ACCORDINGLY

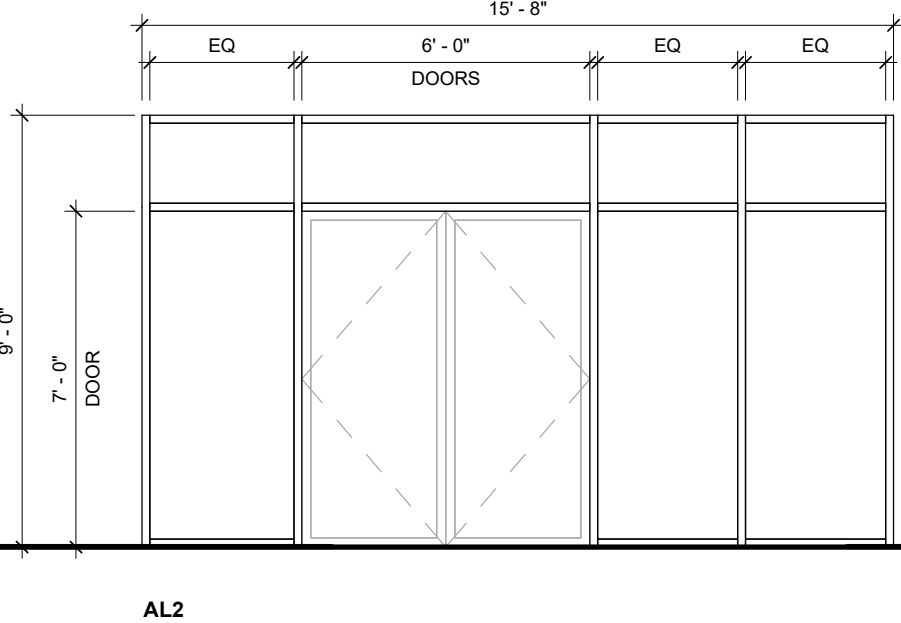


VINYL WINDOW / SLIDING DOOR ELEVATIONS

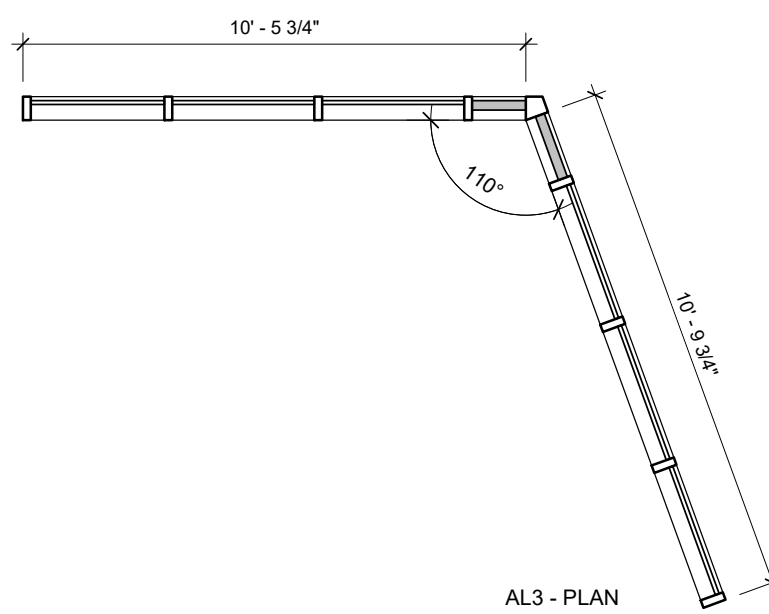
1/4" = 1'-0"



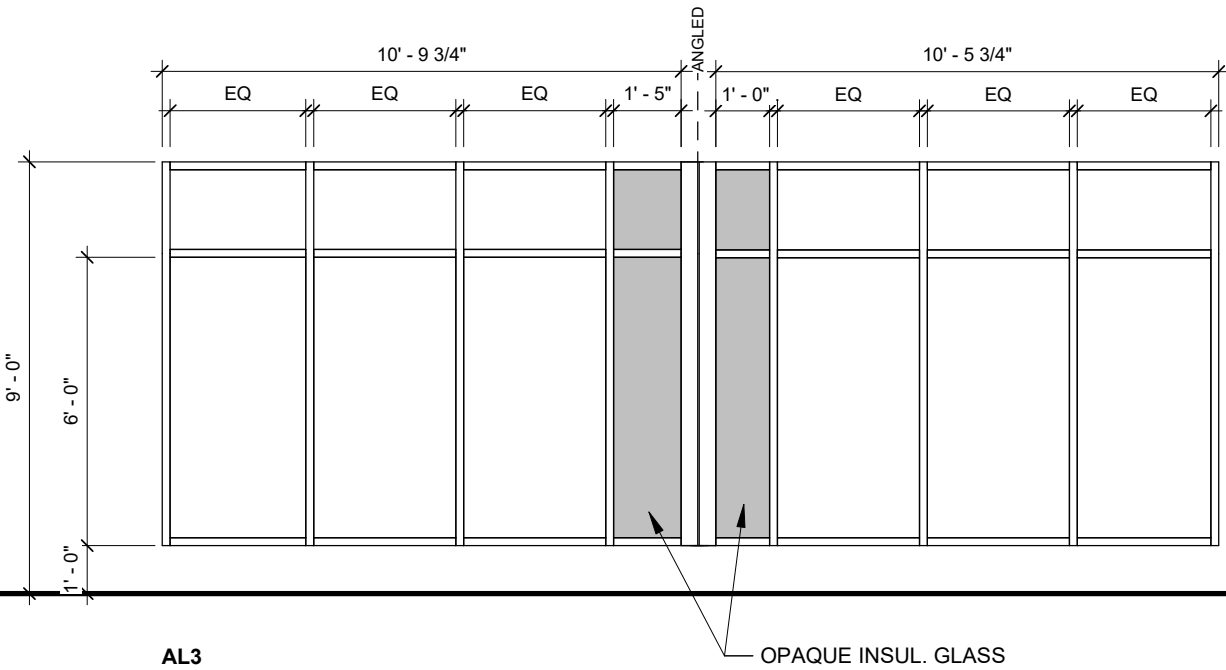
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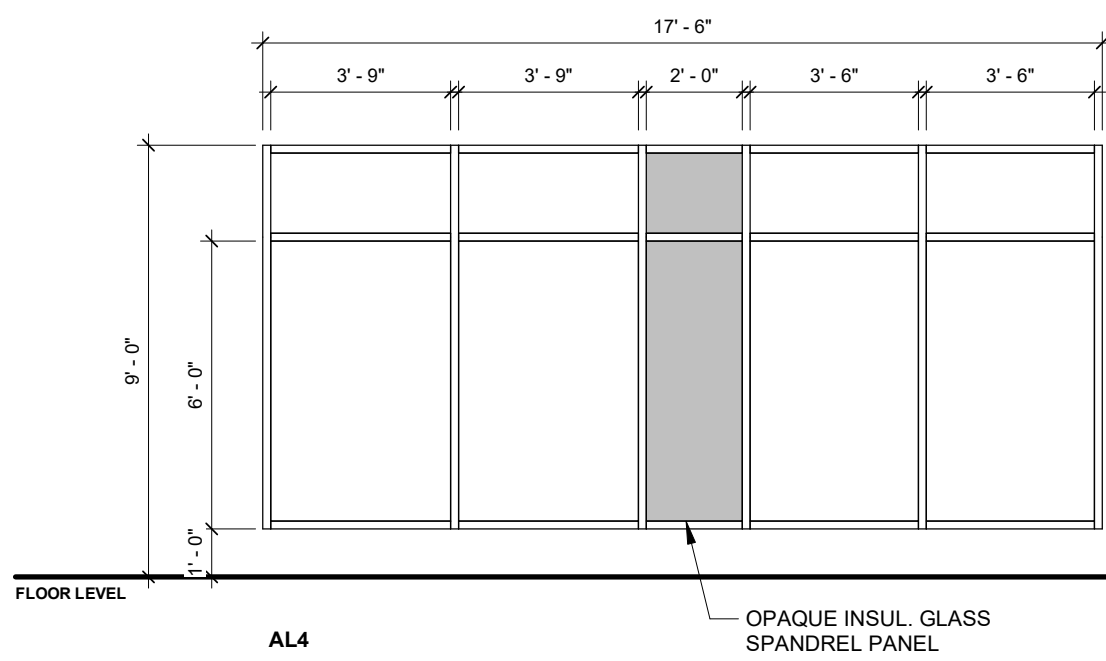
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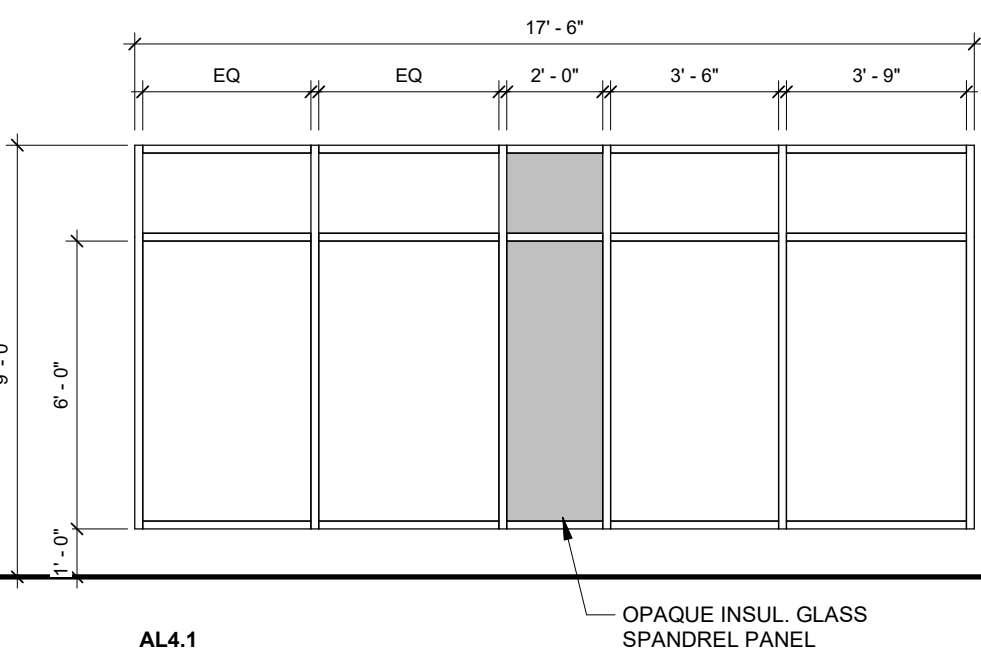
AL3 - PLAN



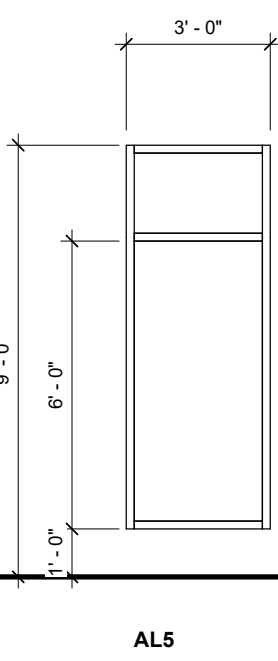
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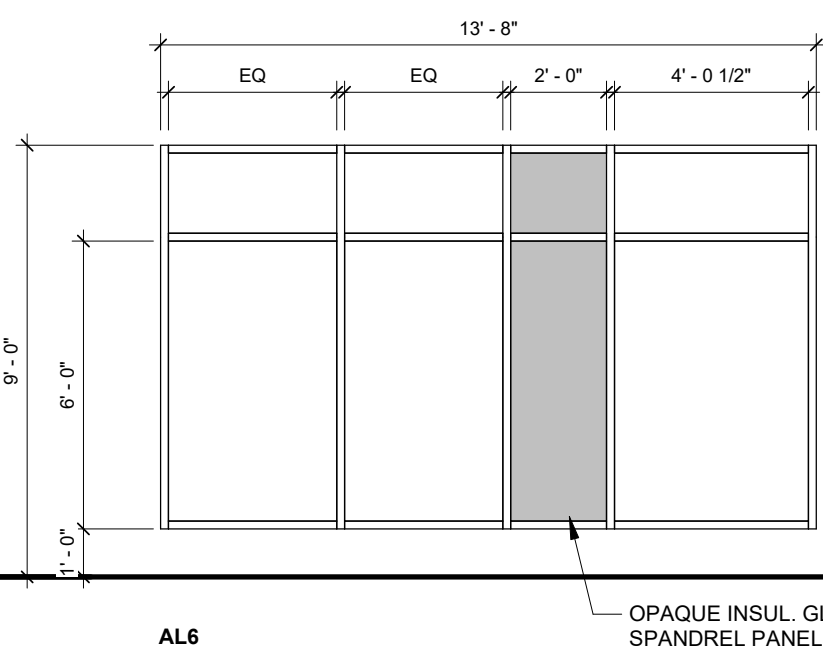
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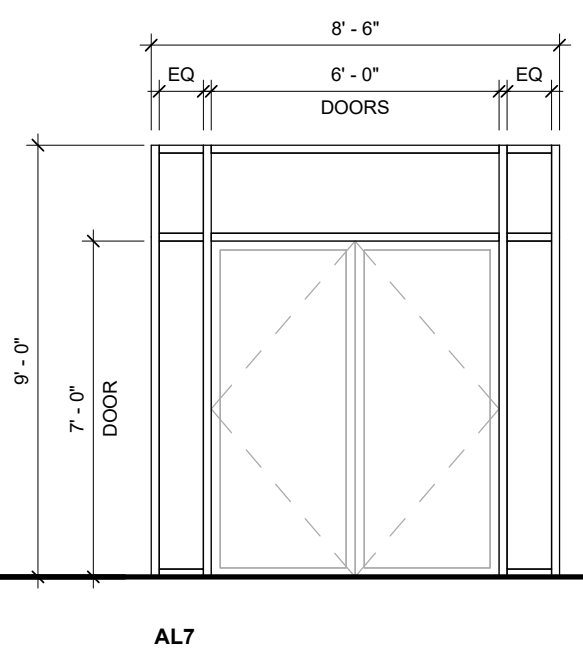
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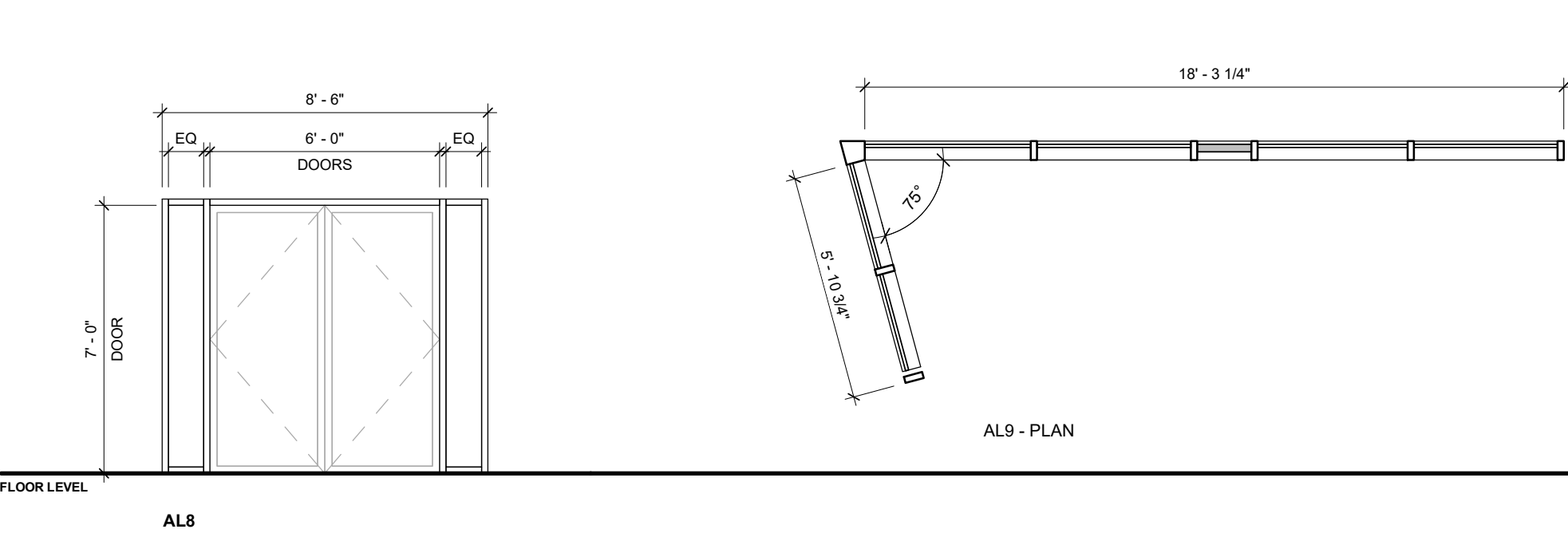
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AL6

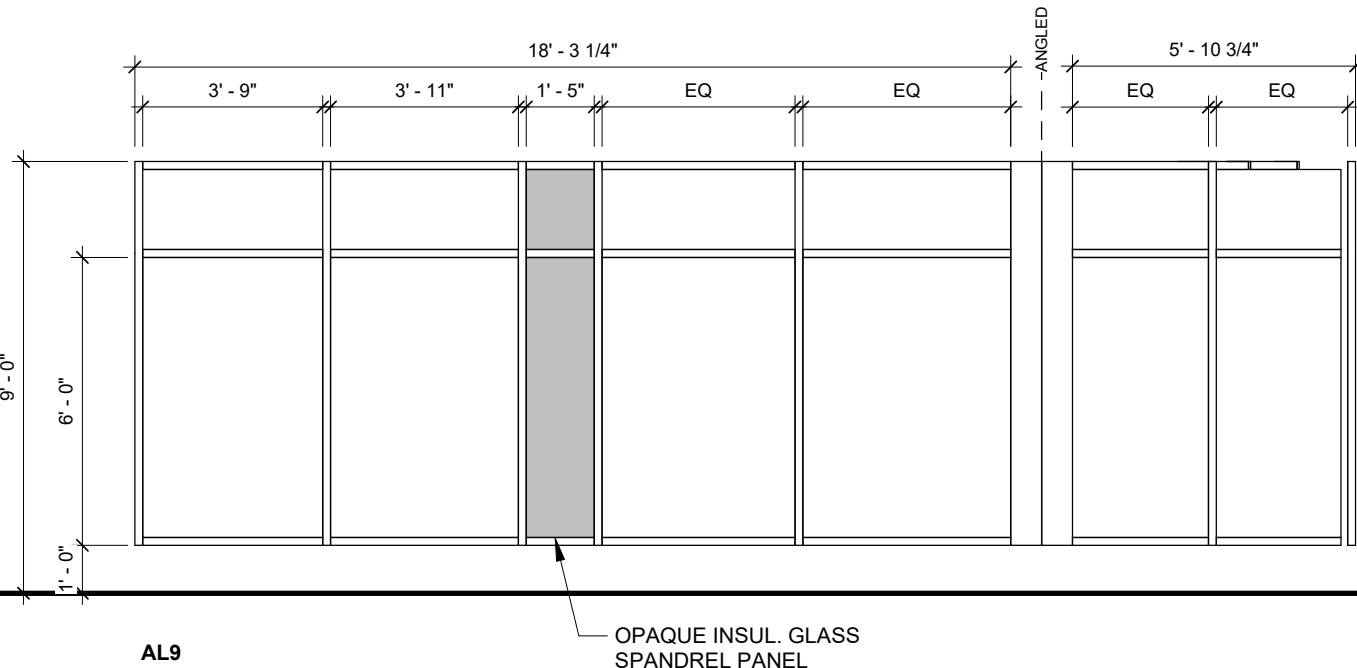


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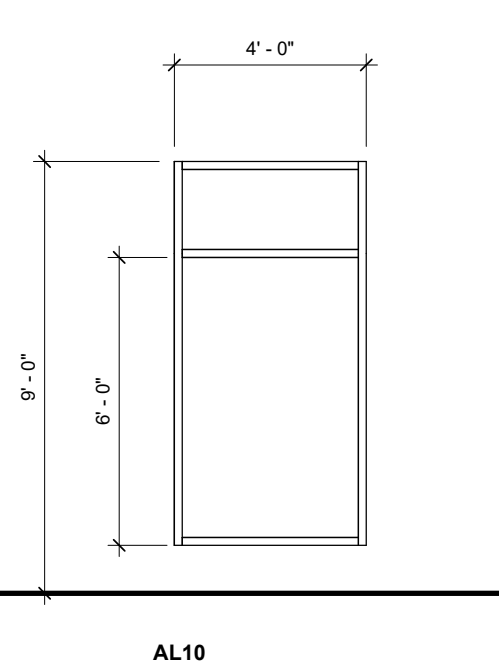


AL8

AL9 - PLAN



AL9



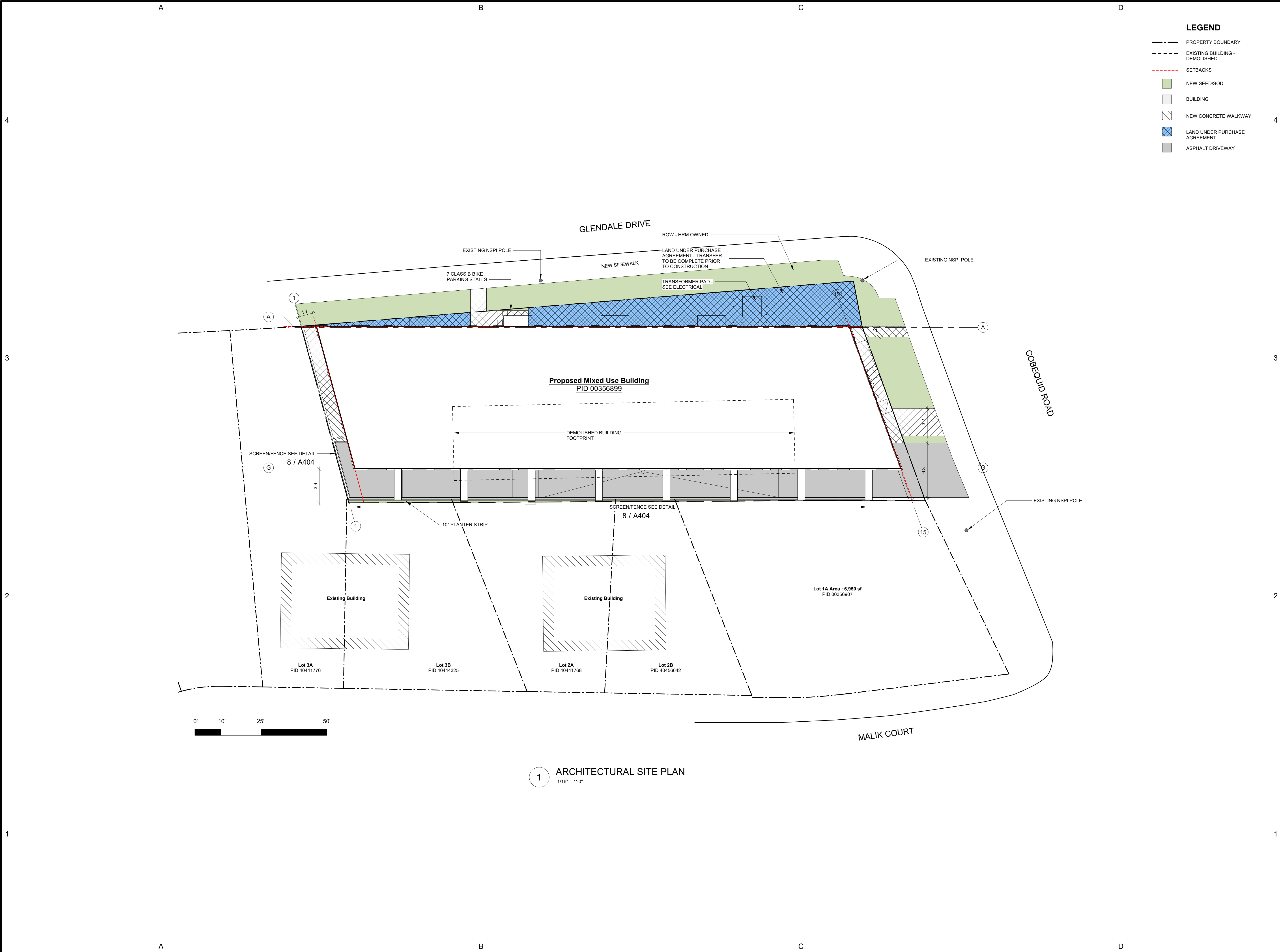
AL10

NOTE:
ALL DIMENSIONS REPRESENT ROUGH OPENINGS.
COORDINATE WINDOW & DOOR DIMENSIONS ACCORDINGLY


ALUMINUM CURTAIN WALL:
- BLACK ANODIZED
- THERMALLY BROKEN FRAMES
- INSULATED / TEMPERED GLASS

ALUMINUM WINDOW ELEVATIONS

1/4" = 1'-0"




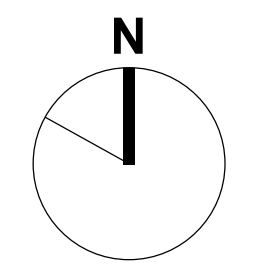
1 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"



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Consultants:

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Plan North:


Project Name:

216 Cobequid

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REVISION SCHEDULE

Date (yyyy-mm-dd): 2021-05-17

Project No.: 2017-016 216 Cobequid Rd.

Drawn By: RB, BM

Checked By: Checker

Approved By: Approver

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Sheet Title:

SITE PLAN

Sheet No.:

A101