

PLANNING APPLICATION FORM

- Part 1: Applicant Information**
Part 2: Application Details
Part 3: Supporting Information Requirements
Part 4: Fees

PART 1: APPLICANT INFORMATION

Registered Property Owner(s):		
Mailing Address:		
E-mail Address:		
Phone:	Cell:	Fax:
Applicant?* <input type="checkbox"/> Yes <input type="checkbox"/> No		

Consultant:		
Mailing Address:		
E-mail Address:		
Phone:	Cell:	Fax:
Applicant?* <input type="checkbox"/> Yes <input type="checkbox"/> No		

*indicates who the applicant of record is and who the contact is for the municipality

I certify that I am submitting this application, including all of the required supporting information, for approval with the consent of the owner(s) of the subject property(s). The owner(s) has/have seen the proposal and have authorized me to act as the applicant for this planning application. * My identification as the applicant means that I am the primary contact with HRM in all matters pertaining to this application.

I understand that all studies or reports submitted in support of this application are public. Once it has been determined that these documents are complete in both the comprehensiveness of the data used and that the analysis methodology is in keeping with HRM standards, they will be available for release to the public for inspection. Upon request by HRM, I agree to provide additional copies of such reports or studies or additional information as may be necessary.

I understand that my planning application will be processed in an expeditious manner by the Municipality, and that the process will require my timely response to feedback provided. It is understood that my failure to respond in a timely manner to requests for additional information, studies, revisions, or questions of clarification provided by the Municipality may result in the closure of the planning application, and the refunding of any unused portion of submitted fees.



 Applicant Signature

Application Date

All applications must include the written consent of all registered owners of the subject lands, contain complete and accurate information, and include the appropriate fees. **Incomplete applications will not be processed - applications cannot be processed unless all required information has been provided.**

PART 2: APPLICATION DETAILS

Type of planning application: (please check all that apply)

- ☐ Land Use By-law Map Amendment (Rezoning): _____ Zone to _____ Zone
- ☐ Land Use By-law Text Amendment
- ☐ Development Agreement
- ☐ Substantive Development Agreement Amendment
- ☐ Non-Substantive Development Agreement Amendment
- ☐ Development Agreement Discharge

PROJECT INFORMATION

Attach detailed written description/letter of proposed use/development			
Existing Land Use(s)			
Existing Residential Units		Existing Commercial Floor Area	
Proposed Land Use(s)			
Proposed Number of Residential Units		Proposed Gross Commercial Floor Area	
Gross Floor Area of Other Land Uses (ie. industrial, institutional)			
Number of Proposed Residential Units by Type	Studio:	1-bedroom:	2+ bedrooms:
Proposed Maximum Height (in floors and metres)		Number of Buildings Proposed	
Sanitary Service Type		Water Service Type	
Total # of Proposed Parking Spaces:	Vehicle Spaces Indoor:		Vehicle Spaces Outdoor:

PROPERTY INFORMATION & ENCUMBRANCES

PID	Civic Address	Owner(s) Name
Are there any easements, restrictive covenants or other encumbrances affecting the subject land(s)? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, attach details (ie deeds, instruments etc)		

HERITAGE

Is this a registered Heritage Property? <input type="checkbox"/> Municipal <input type="checkbox"/> Provincial <input type="checkbox"/> Federal <input type="checkbox"/> No	Does this property about a registered Heritage Property? <input type="checkbox"/> Yes <input type="checkbox"/> No
Are you aware if the site contains any of the following cultural/heritage resources? <input type="checkbox"/> archaeological sites or resources <input type="checkbox"/> buildings, structures, and landscape features of historical significance or value <input type="checkbox"/> cemeteries or known burials If yes to any of the above, please provide details of any cultural or heritage resources in the written project description as required under 'Project Information' above	

Part 3: SUPPORTING INFORMATION REQUIREMENTS

Applicants are required to meet with staff before submitting an application.

1. Please contact Planning & Development to arrange of meeting with a planner.
2. Staff will review your request, confirm whether or not planning policies enable you to submit an application, and identity all supporting information requirements.
3. After receiving your application, staff will review it for completeness and advise if any further information is required.

Information Required for ALL APPLICATIONS.

- ☐ 1 copy - a written Project/Design rationale (explain the proposal and how it satisfies applicable Municipal Planning Strategy policy & relates to adjacent lands)
- ☐ 1 copy - Detailed Site and Floor Plans (*see note 1*)
- ☐ electronic versions of all information consolidated in PDF, MS Word or other specified file format

Other Required Information

Planning staff will advise which items from the following list are required as part of the application, depending on the application nature and scale. Please consult with staff before submitting your application. The need for additional information or printed copies beyond the material listed here may be identified as the application progresses through the review process.

- ☐ Latest survey plan (where available)
- ☐ Preliminary landscape plan (*note 2*)
- ☐ Design rationale (*note 3*)
- ☐ Building drawings (*note 4*)
- ☐ Application summary table (*note 5*)
- ☐ Context map (*note 6*)
- ☐ Traffic Impact Statement or Study (*note 7*)
- ☐ Shadow study (*note 8*)
- ☐ Wind impact assessment or analysis with mitigation strategy (*note 8*)
- ☐ Servicing schematic, if serviced by central sanitary, storm sewer or water systems (*note 9*)
- ☐ Legal description of property (development agreements only)
- ☐ Aerial photograph(s)
- ☐ Preliminary stormwater management plan (*note 10*)
- ☐ Building / site signage plan
- ☐ Building / site lighting plan
- ☐ Material board (*note 11*)
- ☐ Projected population density (must include calculations in accordance with applicable land use by-law)
- ☐ On-site sewage disposal system details
- ☐ Colour perspective drawings, showing proposed development and existing development from pedestrian perspectives
- ☐ Electronic Sketchup model of the proposal
- ☐ Groundwater assessment (Level 1 or 2 as required)

- ☐ Heritage impact statement (where a registered heritage property is part of development site)
- ☐ Environmental assessment (for contaminated sites)
- ☐ Large format versions of any drawings
- ☐ Any other information as deemed required by HRM _____
- ☐ Electronic versions of required materials consolidated in PDF, MS Word or other specified file format

DRAWING STANDARDS

Plans must be prepared by the appropriate qualified professionals (i.e., engineer, architect, landscape architect, surveyor, etc.) who are members in good standing with their professional associations, and are to be based on the best available and most current mapping or aerial photos. All plans are to be scalable, include a north arrow, scale, legend, and drawing/ revision dates. The type of plan (e.g. "Site Plan") must appear in a title block in the lower right portion of the drawing. Site plans, context plans, and landscape plans should be submitted in metric of a legible scale appropriate to the size of the development while imperial scaled plans shall be accepted only for building drawings, elevations, and floorplans

NOTE 1 *Detailed Site/Floor Plans*

The site plan must be at an appropriate scale and print format, and must include:

- Dimensions and area of all subject lands based on the most recent surveys and legal descriptions
- Location and names of all existing and proposed streets, registered easements, and rights-of-way,
- A key plan, compass rose, scale, property identification (PID #, lot number, and/or civic number), and name of property owner, in addition to the date and version number of the plans
- For developments involving new street construction, the same information required in the *Regional Subdivision By-law* (section 94) for Concept Plans
- The location of any municipal service boundary on the site (if applicable)
- Locations of surrounding curbs, sidewalks, and property lines
- The footprint and area of proposed buildings, setbacks from all property boundaries, and the location of any existing buildings or structures to be retained or demolished
- Existing and proposed grades and spot elevations at all building corners; (or a separate grading plan)
- Driveway locations, landscaping, bike parking, and surface parking areas
- Surface type (e.g. asphalt, gravel, sod, woodland etc.) and areas of existing vegetation to be retained
- Proposed ground sign locations

NOTE 2 *Preliminary Landscape Plan*

The preliminary landscape plan must be prepared by a Landscape Architect and provide details on:

- General description of type and location of hard and soft surface materials
- Location, size and species of existing trees (for sites in Urban Service boundary)
- Delineation of areas of existing trees to be retained
- Description or details of proposed method(s) of tree protection
- General description of proposed plant material (e.g. deciduous trees, coniferous shrubs, sod) graphically shown on the plan
- General location and type of fencing, retaining walls and site furnishings

NOTE 3 *Design Rationale*

A submission prepared by the project architect showing the consideration given to existing site conditions, topography, adjacent uses/buildings, creating a sense of place, unique natural features, heritage, etc. which resulted in the proposed site design choices.

NOTE 4 *Building Drawings*

Building drawings must be prepared by a qualified professional and include the following details:

- Height and number of storeys
- Location and measurements of all setbacks at grade and all stepbacks of upper floors
- Building materials and colours
- Pattern and size of windows
- Roof lines
- Angle controls (if applicable)
- View plane locations, where applicable
- Signage (if applicable)
- Elevation drawing of each building face
- Floor Plans with uses labelled, location, type & number of unit with uses labelled, dimensioned, and areas calculated

NOTE 5 *Application Summary Table*

A table indicating a summary of quantitative data for the project potentially inclusive of but not limited to the number of residential units broken down by their bedroom count, total commercial gross floor area, total residential gross floor area, total building gross floor area, property area, lot coverage, project floor area ratio, landscape open space, interior amenity space, vehicle parking, and bicycle parking.

NOTE 6 *Context Map*

A plan which shows the immediate context of the development site inclusive of development on adjacent lots labeled with the use and height (in storeys) of the buildings, names/addresses of existing or approved surrounding buildings, surrounding streets, registered easements, and rights-of-way, and any natural features such as lakes, rivers, ocean, ravines, etc.

NOTE 7 *Traffic Impact Statement/Study*

The traffic impact statement/study must be prepared and stamped by a Professional Engineer in accordance with the current version of HRM's *Guidelines for the Preparation of Transportation Impact Studies*. These studies may require input from the NS Department of Transportation and Infrastructure Renewal. Copies of these requirements are available upon request.

NOTE 8 *Micro Climate Conditions*

- Shadow Study which evaluates the shadow impact for various times during the day on each of the following dates: March 21, June 21, September 21 & December 21
- Wind Assessment Study/Model and a Mitigation Strategy which predicts wind impacts and advises of methods to reduce such impacts.

NOTE 9 Schematics

The Preliminary Servicing Plans must be prepared by a Professional Engineer in accordance with the *Regional Subdivision By-law, Municipal Design Guidelines, and Streets By-law* and must contain at a minimum:

For Development not requiring street construction:

- Lot layout and building footprint
- Preliminary lot grading showing grading/drainage directions (general intent)
- Driveway location(s) including dimensions as per the *Streets By-law*
- Sewer lateral locations including size
- Water lateral locations including size
- Existing trunk services that will service the property
- Preliminary sanitary flow calculations
- Preliminary storm flow calculations (pre and post development)

For Development requiring street construction:

- Proposed street and lot layout
- Proposed central services size and location & direction of flow (water, sanitary and storm)
- Proposed forcemain and pumping station locations (if required)
- Existing trunk services that will service the project
- Existing street network abutting the project
- Preliminary lot grading showing grading/drainage directions (general intent)
- Preliminary sanitary flow calculations
- Preliminary storm flow calculations (pre and post development)

The level of detail shown on servicing schematics must be relative to the scale of the development. The above represents minimum standards acceptable for typical planning applications. Any requested variances from the requirements of the Municipal Design Guidelines or Streets By-law must be identified and explained.

NOTE 10 Preliminary Stormwater Management Plan/Drainage Plan

These plans must be prepared and stamped by a Professional Engineer in accordance with the *Municipal Service Systems Design Guidelines*, any applicable provincial requirements, and HRM's *Regional Subdivision By-law*.

NOTE 11 Material Board

A board 11x17 in size including samples (or, where impractical, pictures of materials) of all proposed building materials as well as glazing inclusive of colour and tint.

PART 4: FEES

Fee Description	Application Fee	Advertising Deposit*	Total Application Cost Submission
Land Use By-law Amendment	\$3,000	\$2,000	\$5,000
Land Use By-law Amendment along with a Development Agreement	\$4,000	\$2,500	\$6,500
Development Agreement	\$3,000	\$2,500	\$5,500
Discharge of a Development Agreement (in whole or in part)	\$500	N/A	\$500
Amendments to Development Agreements unless all the amendments are listed as non-substantive in the development agreement	\$4,000	\$2,500	\$6,500
Amendments to Development Agreements where all the amendments are listed as Non-Substantive	\$3,000	\$2,000	\$5,000

*Where advertising costs differ from the deposit, the balance will be charged or refunded to the applicant.

All fees are to be made payable to Halifax Regional Municipality.

Please submit your application to the following location

By Mail:	Planning Applications Planning & Development Alderney Gate Office PO Box 1749 Halifax, NS B3J 3A5
By Courier / In Person:	HRM Customer Service Centre 40 Alderney Drive, 1st Floor Dartmouth tel: (902) 490-4472



09-08-2021

To: Carl Purvis,
Planning Applications Program Manager
Current Planning/ Planning & Development

RE: 216 Cobequid Rd, Lower Sackville - Substantive amendment to Development Agreement

Dear, Carl

Pertaining to Permit Application # BP-2021-005582
To Construct 33-unit residential building with commercial offices on main level.
We would like to reinstate the balconies.

Previously the balconies were abutting onto the adjoining property PID 41257940 on the North side of the building and were removed as per the DA for permitting.

Our client has purchased the property adjacent to the 216 Cobequid property. The PID of this parcel is PID 41257940.


We would like to amend the Development Agreement to include this land parcel and allow for the balconies.

Sincerely,

Melissa MacRae
e melissa.macrae@tealarchitects.com
m [902.221.6173](tel:902.221.6173) |

TEAL Architects+Planners






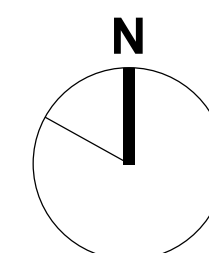
1660 Hollis Street, Suite 1101
Halifax, Nova Scotia B3J 1V7
t.902.404.8383 f.902.404.8368
email - info@TEALarchitects.com

Consultants:

Stamp:



Plan North:



Project Name:

216 Cobequid

City:

Province:

Client:

FH Development Group

DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BE VERIFIED ON SITE. IN THE ABSENCE OF DIMENSIONS, OR IF DISCREPANCIES EXIST, CONSULT ARCHITECT. ALL MINIMAL DIMENSIONS SHALL COMPLY WITH THE NATIONAL BUILDING CODE AND LOCAL AUTHORITIES HAVING JURISDICTION. THE USE OF THIS DRAWING SHALL BE GOVERNED BY STANDARD COPYRIGHT LAW AS GENERALLY ACCEPTED IN ARCHITECTURAL PRACTICE.

MARK	DATE	DESCRIPTION
B	2021-05-17	Issued for Construction
A	2021-04-01	Issued for Permit

REVISION SCHEDULE

Date (yyyy-mm-dd): 2021-05-17

Project No.: 2017-016 216 Cobequid Rd.

Drawn By: RB, BM

Checked By: Checker

Approved By: Approver

Copyright: TEAL Architects 2019

Sheet Title:

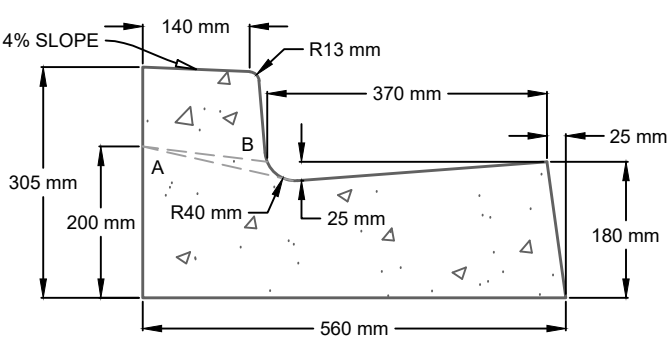

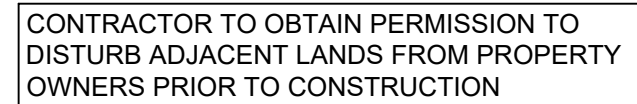
SITE PLAN

Sheet No.: A101

ALL BEARINGS AND DISTANCES ARE GRID DERIVED FROM NRTK GNSS
OBSERVATION TO NSHPN 200054, REFERENCED TO THE NOVA SCOTIA 3°
MODIFIED TRANSVERSE MERCATOR PROJECTION, ZONE 5, CENTRAL MERIDIAN
64°30' W; BASED ON THE HORIZONTAL REFERENCE FRAME NAD83 (CSRS), EPOCH
2010.0.

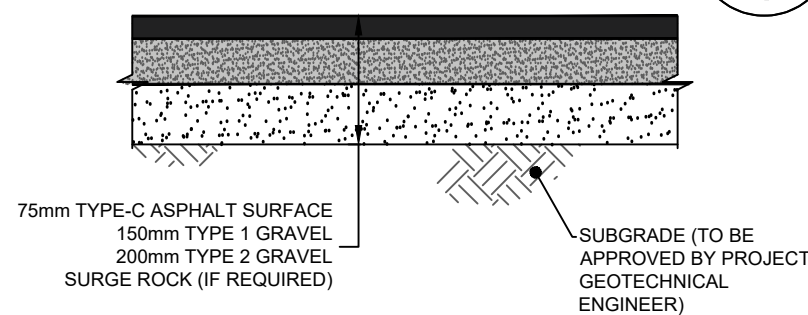
ELEVATIONS ARE REFERENCED TO NSHPN 200054, HAVING AN ELEVATION OF 59.373 METRES (CGVD2013).

FIELD SURVEYS WERE CARRIED OUT ON JANUARY 14, 2020



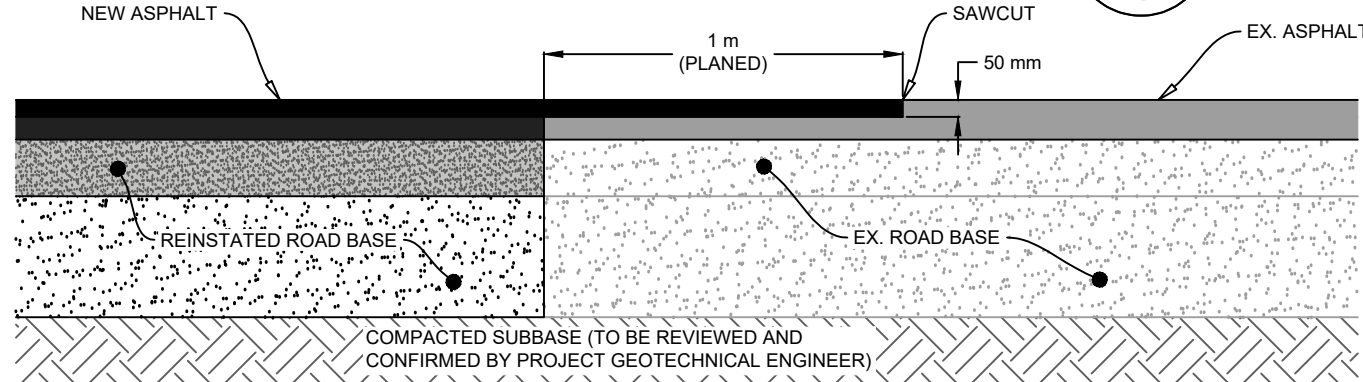
NOTES:
LINE A INDICATES CURB AT PEDESTRIAN RAMPS
LINE B INDICATES CURB AT DRIVEWAYS

E B
S. 1



NOTE:
REFER TO PROJECT GEOTECHNICAL REPORT FOR PLACEMENT
AND COMPACTION DETAILS. ASPHALT AND GRAVEL THICKNESS
TO BE REVIEW AND CONFIRMED BY PROJECT GEOTECHNICAL
ENGINEER PRIOR TO CONSTRUCTION.

L C
S 1



1. SAFETY IS PARAMOUNT AND THE CONTRACTOR MUST USE SAFE WORK PRACTICES IN ACCORDANCE WITH THE NOVA SCOTIA OCCUPATIONAL HEALTH AND SAFETY ACT.

2. ALL WORKS TO BE IN ACCORDANCE WITH HALFAX WATER DESIGN AND CONSTRUCTION SPECIFICATIONS AND HALFAX REGIONAL MUNICIPALITY MINOR INFRASTRUCTURE GUIDELINES (CURRENT EDITIONS).

3. ALL WORKS TO BE IN ACCORDANCE WITH THE "STANDARD SPECIFICATION FOR MUNICIPAL SERVICES" PREPARED JOINTLY BY THE NOVA SCOTIA ROADBUILDERS ASSOCIATION AND THE CONSULTING ENGINEERS OF NOVA SCOTIA (CURRENT EDITION).

4. ALL WORKS TO BE IN ACCORDANCE WITH REQUIREMENTS OF ALL PERMITS AND REGULATIONS AS ISSUED BY THE NOVA SCOTIA DEPARTMENT OF ENVIRONMENT.

5. CONTRACTOR TO NOTIFY DESIGNPOINT, HALFAX REGIONAL MUNICIPALITY, AND HALFAX WATER REGARDING CONSTRUCTION SCHEDULES PRIOR TO THE START OF CONSTRUCTION.

6. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF NATURAL WATERCOURSES FROM DAMAGE DUE TO SILT LAND RUNOFF FROM THE CONSTRUCTION SITE. ACCEPTABLE CONSTRUCTION PROCEDURES MAY BE OBTAINED FROM EROSION AND SEDIMENTATION CONTROL. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EROSION CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.

7. ALL DISTURBED AREAS NOT STABILIZED BY GRAVEL, ASPHALT, CONCRETE, OR SOD ARE TO BE STABILIZED WITH 100mm TOPSOIL AND HYDROSEEDED. HYDROSEEDED AREAS TO BE COVERED WITH HALF YALMCH (MIN. 350 kg/ha). HYDROSEEDED AREAS THAT DO NOT SHOW EVIDENCE OF GROWTH WITHIN 12 MONTHS OF SEEDING TO BE RESEED.

8. MATERIALS SHALL NOT BE SUBSTITUTED UNLESS PRIOR APPROVAL IS PROVIDED BY THE ENGINEER.

9. SHOP DRAWINGS TO BE PROVIDED FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO CONSTRUCTION.

10. CONTRACTOR OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM WORKS AND TO COMPLY WITH ALL PERMIT REQUIREMENTS AND CONDITIONS.

11. LOCATIONS OF EXISTING INFRASTRUCTURE IS BASED ON BEST AVAILABLE INFORMATION, INCLUDING RECORD INFORMATION. CONTRACTOR TO CONDUCT SURVEY OF EXISTING INFRASTRUCTURE AND NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.

12. CONTRACTOR TO ALLOW A 1 WEEK LEAD TIME FOR THE ENGINEER TO VERIFY EXISTING INFRASTRUCTURE.

13. CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS, SUCH AS HERITAGE GAS, NOVA SCOTIA POWER, BELL ALLIANT, EASTLINK, AND HALFAX WATER. CONTRACTOR TO VISIT CLICKFORGE.YOUDIG.COM TO REQUEST LOCATES PRIOR TO COMPLETING ANY EXCAVATION.

14. CONTRACTOR SHALL ALLOW A 1 WEEK LEAD TIME FOR THE ENGINEER TO VERIFY ANY REGULATORY REQUIREMENTS FOR WORKING AROUND LIVE GAS MAINS.

15. PERMISSION FROM LANDOWNER(S) REQUIRED TO WORK ON PRIVATE PROPERTY.

16. CONTRACTOR TO NOTIFY PROPERTY OWNERS WHO WILL EXPERIENCE DISRUPTION DURING THE WORK (PROPERTY ACCESS, MAINS, AND UTILITIES) AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

17. ALL ELEVATIONS ARE METRIC AND GEODETIC. TOPOGRAPHICAL SURVEY COMPLETED BY DESIGNPOINT ON JANUARY 14, 2020.

18. CONTRACTOR TO CONTRACT DESIGNPOINT FOR CONSTRUCTION LAYOUT CONTROL. INFORMATION 2 WEEKS PRIOR TO CONSTRUCTION.

19. CONTRACTOR TO PROVIDE (INCLUDING BUT NOT LIMITED TO) ALL NECESSARY TREATMENT (INCLUDING GRAVELS, ASPHALT, AND CONCRETE) TO BE REVIEWED AND CERTIFIED BY PROJECT GEOTECHNICAL ENGINEER.

20. DRAWINGS SUBJECT TO CONSTRUCTION APPROVAL BY THE APPLICABLE APPROVAL AGENCIES (i.e. halfax water, NOVA SCOTIA, AND ENVIRONMENT CANADA) PRIOR TO CONSTRUCTION.

21. CONTRACTOR RESPONSIBLE FOR ALL TRAFFIC CONTROL MEASURES REQUIRED FOR THE PROJECT. ALL TEMPORARY TRAFFIC CONTROL MEASURES TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NOVA SCOTIA TRANSPORTATION AND INFRASTRUCTURE RENEWAL TEAM TOPICAL SPECIFICATION FOR TRAFFIC CONTROL MEASURES. THE LATEST EDITION OF THE TRANSPORTATION ASSOCIATION OF CANADA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR CANADA.

22. INSULATION TO BE 50mm THICK HD40 RIGID STYROFOAM (ROAD AND TRAFFIC RATED).

23. CONTRACTOR TO OBTAIN CONSTRUCTION APPROVAL FROM THE ENGINEER AND APPLICABLE APPROVAL AGENCIES PRIOR TO CONSTRUCTION.

24. CONTRACTOR RESPONSIBLE FOR COSTS ASSOCIATED WITH DRAWING REVISIONS AND APPROVALS.

25. ALL TEMPORARY ROAD CLOSURES WILL REQUIRE A ROAD CLOSURES PERMIT.

26. AT THE COMPLETION OF CONSTRUCTION, THE CONTRACTOR IS TO COMPLETE AND PROVIDE A COPY OF A CATCH INSPECTION REPORT TO THE ENGINEER FOR REVIEW OF ALL GRASSY AREAS.

27. ALL TESTING OF SEWERS TO BE IN ACCORDANCE WITH HALFAX WATER SPECIFICATIONS, INCLUDING MANHOLE VACUUM TEST, PRESSURE TEST, TO BE COMPLETED FOR ENTIRE PIPE LENGTH. TEMPORARY END CAPS TO BE INSTALLED AS REQUIRED TO FACILITATE TESTING.

28. ALL WATER MAINS TO BE INSTALLED TO 150mm DEPTH. ALL SPECIFIC GRAVITY TAP TO INCLUDE PRESSURE TEST AND CHLORINATION FOR ALL SERVICE LATERALS 100 mm Ø AND LARGER. BARE LIFT OF GRAVEL TO BE PLACED OVER WATER MAINS AND SERVICES PRIOR TO TESTING (PUBLIC AND PRIVATE INFRASTRUCTURE).

29. ALL FIELD MANHOLE CONNECTIONS TO BE MADE USING CORE DRILL AND KOR-N-SEAL (SUBJECT TO APPROVAL BY UTILITY AND ENGINEER).

30. ALL GRAVITY PIPE TO BE INSTALLED IN AN UPSTREAM DIRECTION. CONTRACTOR TO BEGIN PIPE INSTALLATION AT THE MOST DOWNSTREAM LOCATION. INSTALLING TEMPORARILY ORPHANED PIPE SECTIONS IS NOT ACCEPTABLE (UNLESS APPROVED BY THE UTILITY AND THE ENGINEER).

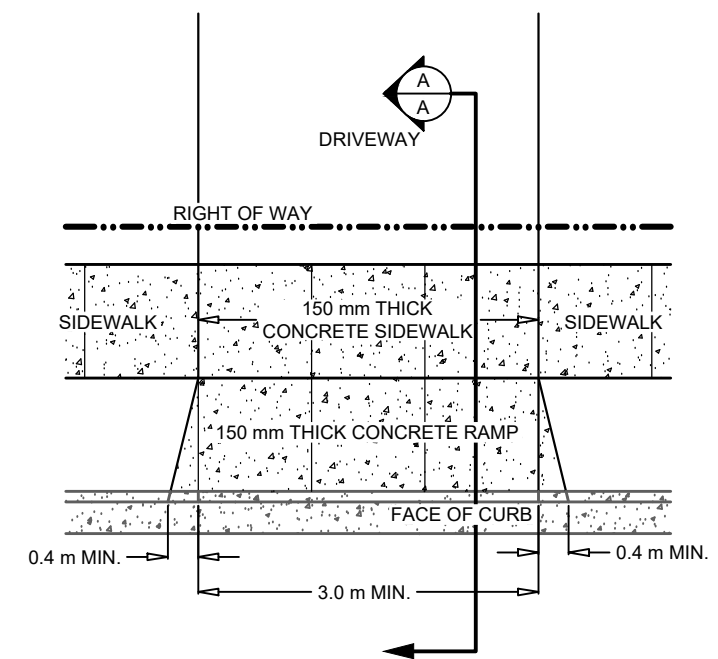

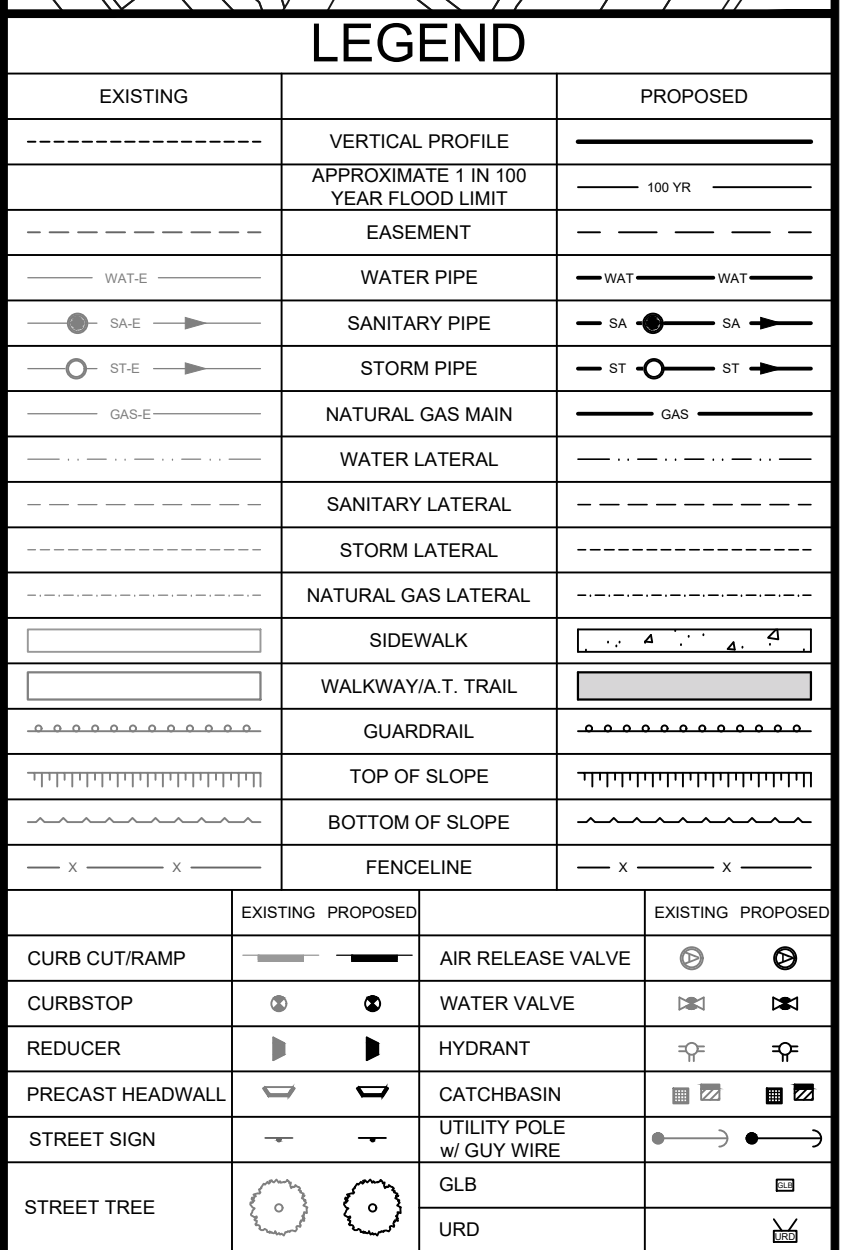


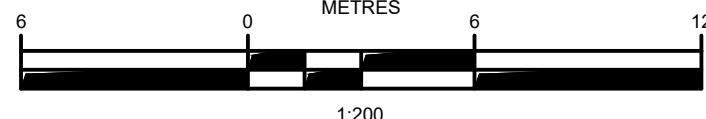
Diagram illustrating the cross-section of a driveway and roadway. The roadway is on the left, sloping up to the driveway surface at a maximum of 10% slope. The driveway surface is 150 thick concrete with an approved base, sloping down to the right of way at a 2% slope. The diagram also shows the face of the curb and the right of way line. Labels include: ROADWAY, FACE OF CURB, DRIVEWAY SURFACE (SEE NOTE #1), 10% SLOPE (MAX.), 2% SLOPE, RIGHT OF WAY, SEE NOTE #2, SEE NOTE #3, and 150 THICK CONC. SIDEWALK WITH APPROVED BASE.

NOTES:

1. IF DRIVEWAY SURFACE IS GRAVEL, THIS SHALL BE ASPHALT CONCRETE.
2. FOR COMMERCIAL AND INDUSTRIAL DRIVEWAYS PLACE 150x150 - M.W. 18.7 x M.W. 18.7 PLACED 50 mm FROM BOTTOM OF CONCRETE RAMP AND SIDEWALK.
3. WHEN BOULEVARD IS LESS THAN 1.5 m OR WHEN THE SIDEWALK IS COVERED BY GRASS AND GUTTER, SLOPE SIDEWALK IN A STRAIGHT LINE GRADE FROM BACK OF SIDEWALK TO LIP ON CURB OPENING.
4. MINIMUM DISTANCE BETWEEN CONTROL JOINTS IS 1200 mm. PROVIDE CONTROL JOINTS WITHIN 150 OF CHANGE IN CROSS SECTION CURB

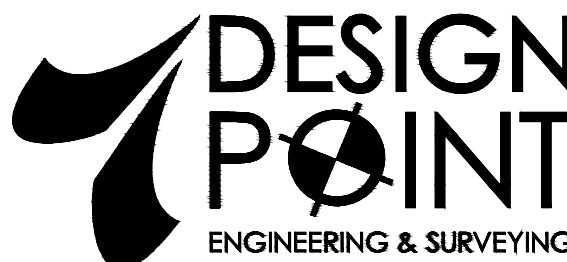


ISSUED FOR
PERMIT, NOT FOR
CONSTRUCTION



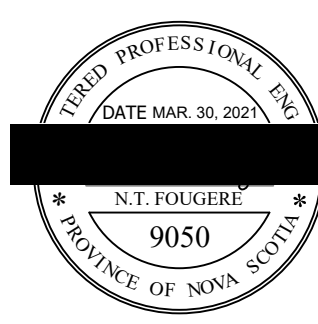
2	MAR. 30, 2021	ISSUED FOR PERMIT
1	AUG. 13, 2020	ISSUED FOR COORDINATION
ISSUE	DATE	DESCRIPTION

CONSULTANT



PHONE: 902.832.5597

www.designpoint.ca



CLIENT



PROJECT DESCRIPTION

216 COBEQUID ROAD
SERVICING

LOWER SACKVILLE, NOVA SCOTIA

SHEET DESCRIPTION

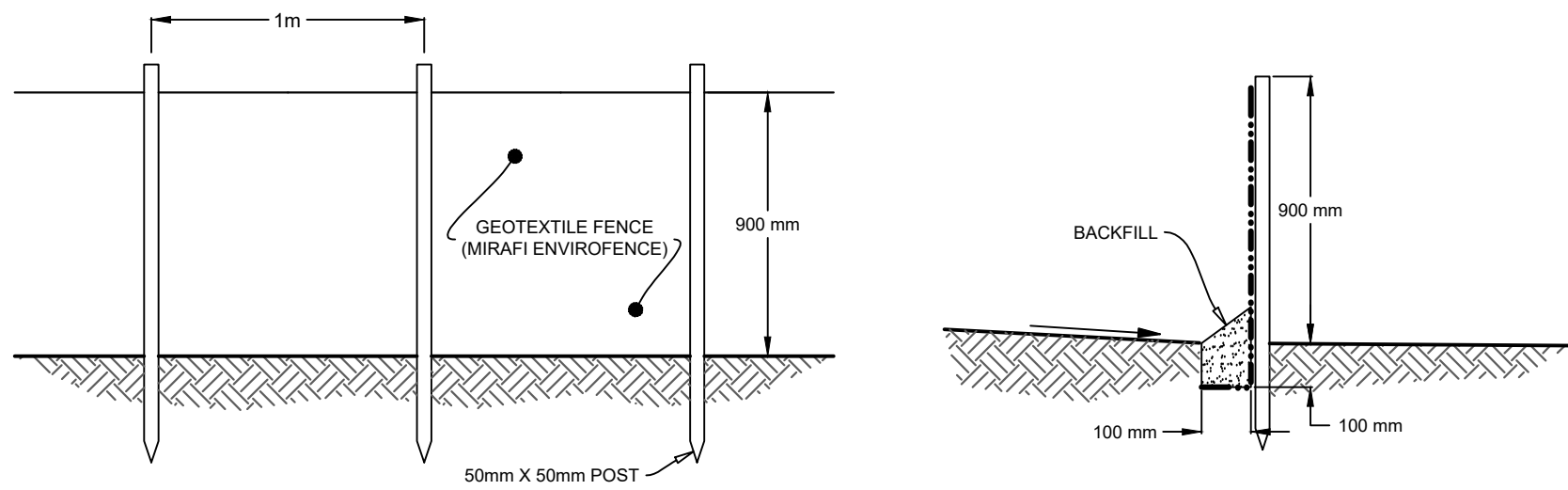
SITE & GRADING PLAN

Drawn T. ARMOUR	Engineer N. FOUGERE	Project No. 19-242	Drawing No. C-101 1 of 4
Scale 1:200	Filename 19-242_Base.dwg		

SILT FENCE DETAIL

A
2

N.T.S.



FLOW COMPARISON						
	2 YEAR RETURN (L/s)	5 YEAR RETURN (L/s)	10 YEAR RETURN (L/s)	25 YEAR RETURN (L/s)	50 YEAR RETURN (L/s)	100 YEAR RETURN (L/s)
PRE- DEVELOPMENT	15.9	21.7	25.5	30.4	33.9	37.5
POST- DEVELOPMENT	17.0	22.9	26.8	31.7	35.3	38.8

NOTE:

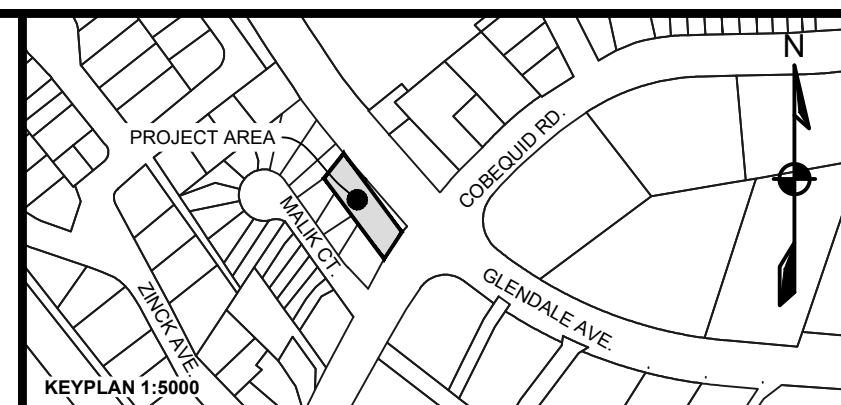
- DESIGN FLOW BASED ON SCS WATERSHED RUNOFF MODEL WITH SYNTHETIC DESIGN STORM AS PER HALIFAX WATER 2018 SPECIFICATIONS. 24 HR RAINFALL DEPTHS AS FOLLOWS:
 - 2 YEAR RETURN: 67 mm
 - 5 YEAR RETURN: 79 mm
 - 10 YEAR RETURN: 87 mm
 - 25 YEAR RETURN: 97 mm
 - 50 YEAR RETURN: 104 mm
 - 100 YEAR RETURN: 111 mm
- MANNING'S 'n' FOR PIPE CAPACITY = 0.013 FOR CONCRETE OR 0.010 FOR PVC

SITE SURFACE COVERAGE (PRE)

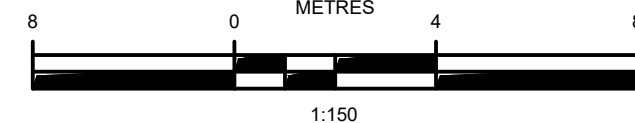
SURFACE TYPE	AREA (m ²)
GRAVEL	104.1
ROOF	365.6
PAVEMENT	710.4
LANDSCAPING	314.3

SITE SURFACE COVERAGE (POST)

SURFACE TYPE	AREA (m ²)
ROOF	1062.4
PAVEMENT	267.4
LANDSCAPING	169.6



LEGEND		
EXISTING		PROPOSED
10	MAJOR CONTOUR	10
10	MINOR CONTOUR	10
---	EASEMENT	---
---	RIGHT OF WAY	---
---	LOT LINE	---
---	SILT FENCE	---
---	RUMBLE STRIP	---
---	PRECAST HEADWALL	---
---	CATCHBASIN	---
---	FLOW ARROW	---
---	CURB CUT	---

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PERMIT, NOT FOR
CONSTRUCTION

ISSUE	DATE	DESCRIPTION
2	MAR. 30, 2021	ISSUED FOR PERMIT
1	AUG. 13, 2020	ISSUED FOR COORDINATION

CONSULTANT

DESIGN POINT
ENGINEERING & SURVEYING

PHONE: 902.832.5597 www.designpoint.ca

PROFESSIONAL ENGINEER
DATE MAR. 30, 2021

N.T. FOUGERE
9050
PROVINCE OF NOVA SCOTIA

CLIENT

PROJECT DESCRIPTION

216 COBEQUID ROAD
SERVICINGLOWER SACKVILLE, NOVA SCOTIA
SHEET DESCRIPTIONSITE GRADING PLAN, EROSION AND
SEDIMENT CONTROL PLAN, AND
STORMWATER MANAGEMENT PLAN

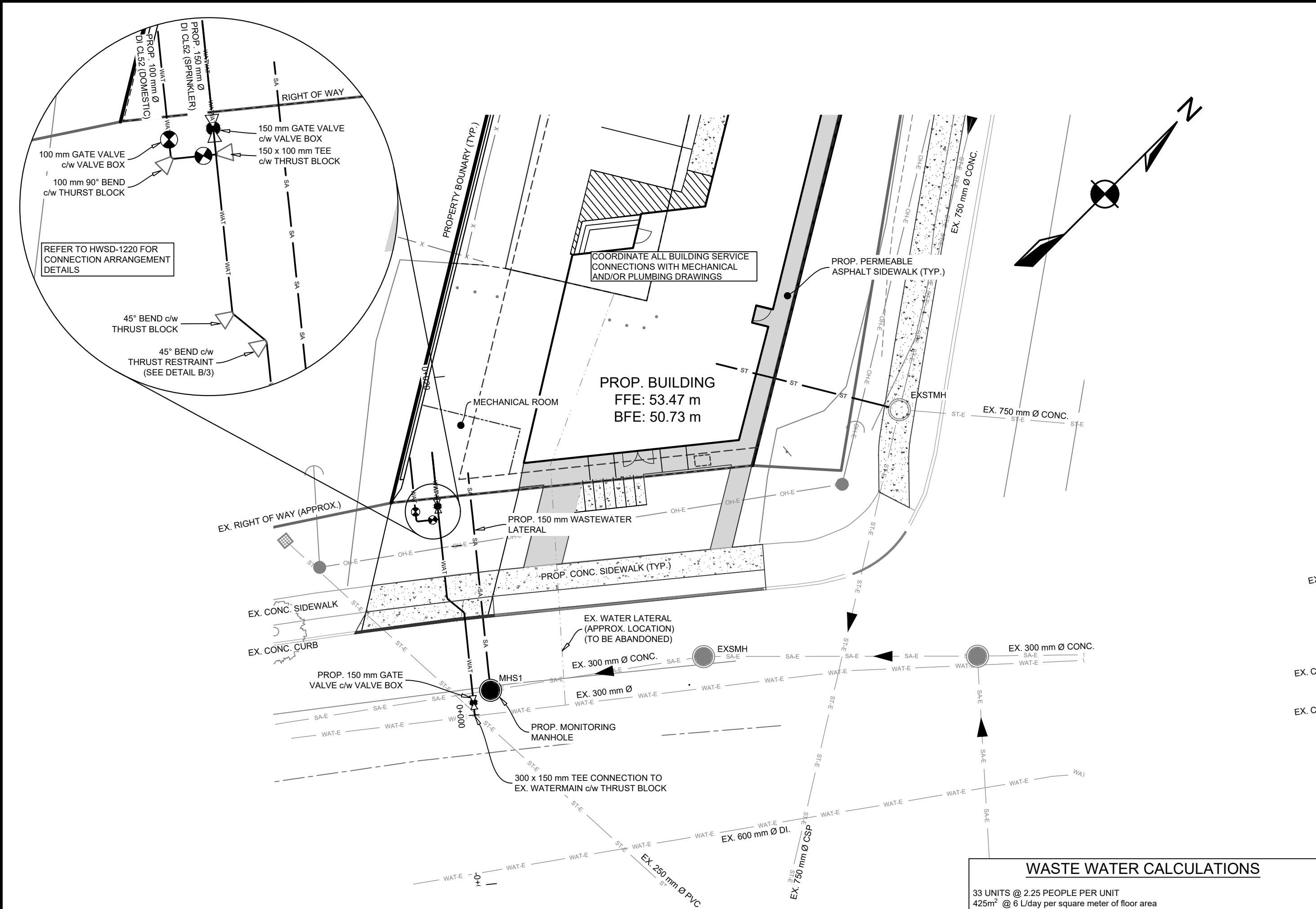
Drawn T. ARMOUR	Engineer N. FOUGERE	Project No. 19-242	Drawing No. C-102
Scale 1:150	Filename 19-242_Base.dwg		2 of 4

GENERAL EROSION AND SEDIMENT CONTROL NOTES

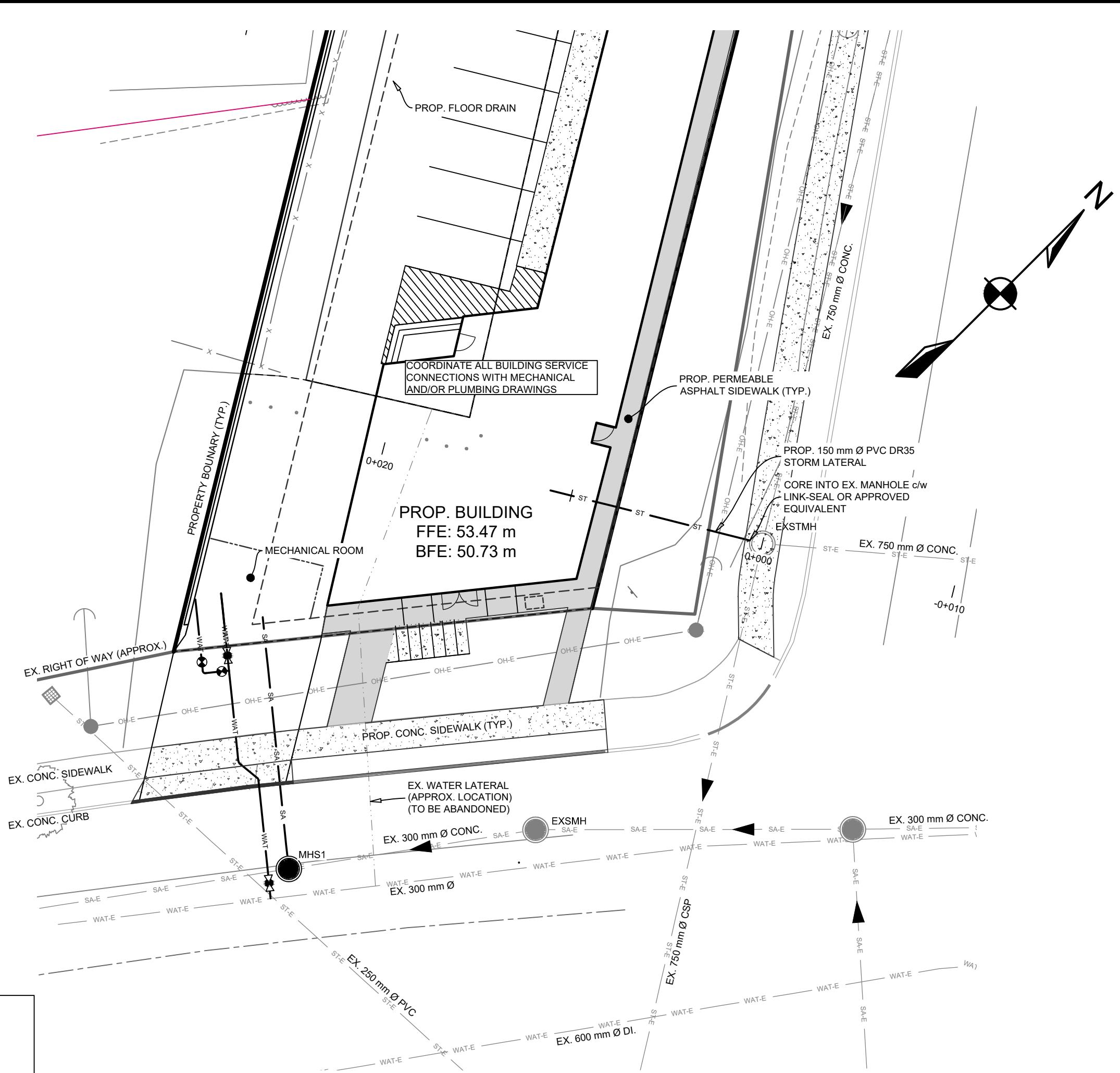
- EXPOSED SOIL TO BE MINIMIZED AT ALL TIMES DURING CONSTRUCTION TO LIMIT SEDIMENT LADEN RUNOFF. THIS IS TO BE ACCOMPLISHED BY COMPLETING ALL WORK IN A GIVEN AREA ONCE EXCAVATION HAS BEGUN BEFORE DISTURBING ADDITIONAL SOIL. CONTRACTOR IS TO BE AWARE OF CURRENT WEATHER FORECASTS AND PLAN SOIL STABILIZATION ACCORDINGLY.
- ALL WORKS TO BE IN ACCORDANCE WITH NOVA SCOTIA DEPARTMENT OF ENVIRONMENT REQUIREMENTS.
- CONTRACTOR TO ACQUIRE ALL PERMITS REQUIRED TO PERFORM WORK AND TO COMPLY WITH ALL PERMIT REQUIREMENTS DURING CONSTRUCTION.
- CONTRACTOR TO PROTECT NATURAL WATERCOURSES FROM SILT LADEN RUNOFF FROM CONSTRUCTION SITE. CONSTRUCTION PROCEDURES CAN BE FOUND IN THE CURRENT EDITION OF "EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION SITES" BY THE NOVA SCOTIA DEPARTMENT OF ENVIRONMENT.
- CONTRACTOR TO ENSURE THAT ALL EXPOSED AREAS ARE STABILIZED PRIOR TO RAINFALL EVENTS BY CHECKING ENVIRONMENT CANADA FORECASTS (https://weather.gc.ca/canada_e.html).
- CONTRACTOR TO PERFORM WEEKLY INSPECTIONS OF SEDIMENT CONTROL MEASURES AND MAKE REPAIRS AS NEEDED. ADDITIONAL INSPECTION AND REPAIR TO BE CARRIED OUT BEFORE AND AFTER ANY RAINFALL EXCEEDING 10mm. A LOG OF EACH INSPECTION AND REPAIR IS TO BE KEPT ALONG WITH A WEEKLY REPORT OF EXPOSED AREAS.
- TRIBUTARY STORM RUNOFF FROM SITE TO BE DIRECTED INTO SEDIMENT CONTROL DEVICES DURING CONSTRUCTION.
- CONTRACTOR TO CONSTRUCT AND MAINTAIN DIVERSION DITCHES THROUGH AND AROUND THE SITE TO MINIMIZE CONTAMINATION OF CLEAN WATER.
- CONTRACTOR TO HAVE ADDITIONAL SEDIMENT CONTROL MEASURES ON SITE INCLUDING SILT FENCE, BALED HAY, AND LOOSE HAY/MULCH TO MAINTAIN OR INSTALL CONTROL MEASURES AS REQUIRED.
- EXPOSED SURFACES TO BE COVERED WITH HAY, MULCH, OR WOOD CHIPS TO LIMIT SEDIMENT RUNOFF.
- CONTRACTOR MAY SUBSTITUTE WOOD CHIP BERM FOR SILT FENCE IN ROCKY AREAS WHERE SILT FENCE CANNOT BE INSTALLED.
- SEDIMENTATION BERMS AND PONDS TO REMAIN IN SERVICE UNTIL PROJECT ENGINEER OR THE MUNICIPALITY REQUESTS THEIR REMOVAL. THIS WILL ONLY OCCUR AFTER LOT AND BUILDING CONSTRUCTION IS COMPLETE.
- SEDIMENTATION BERMS AND PONDS TO BE REMOVED IN THE FOLLOWING ORDER. LEVEL OFF BERMS, HYDROSEED AND COVER ALL EXPOSED AREAS WITH HAY, THEN FILL IN PONDS.
- UPON COMPLETION OF GRADING ACTIVITY, ALL LOT DRAINAGE EASEMENTS ARE TO BE HYDROSEED AND MULCHED.
- TOPSOIL AND HYDROSEED TO BE PLACED ON ALL AREAS NOT FINISHED WITH ASPHALT, CONCRETE, GRAVEL, OR SOD.
- ACCESS ROADS TO SITE ARE TO BE MAINTAINED WITH CLEAN GRAVEL APPLIED PERIODICALLY TO COVER MUDDY AREAS. CLEANING OF ADJACENT STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AS DIRECTED BY THE ENGINEER.
- VEHICLE ACCESS TO CONSTRUCTION SITE TO BE RESTRICTED.
- STABILIZE ON-SITE STOCKPILES USING APPROPRIATE MEASURES (SILT FENCE, HAY, TARPS, ETC.).
- SITE ACTIVITY TO ADHERE TO REQUIREMENTS OF HALIFAX REGIONAL MUNICIPALITY TOPSOIL BY-LAW.
- ALL SEDIMENT CONTROL MEASURES TO BE OPERATIONAL OVER ENTIRE CONSTRUCTION PERIOD.
- SEDIMENTATION AND EROSION CONTROL MEASURES ARE SUBJECT TO CHANGE. ADDITIONAL MEASURES MAY BE REQUIRED DEPENDING ON SITE CONDITIONS DURING CONSTRUCTION.

CONTRACTOR TO OBTAIN PERMISSION TO
DISTURB ADJACENT LANDS FROM PROPERTY
OWNERS PRIOR TO CONSTRUCTIONCIVIC 5
PID 40455642CIVIC 202
PID 003595907APPROX. LIMITS OF DISTURBANCE
(1:500)

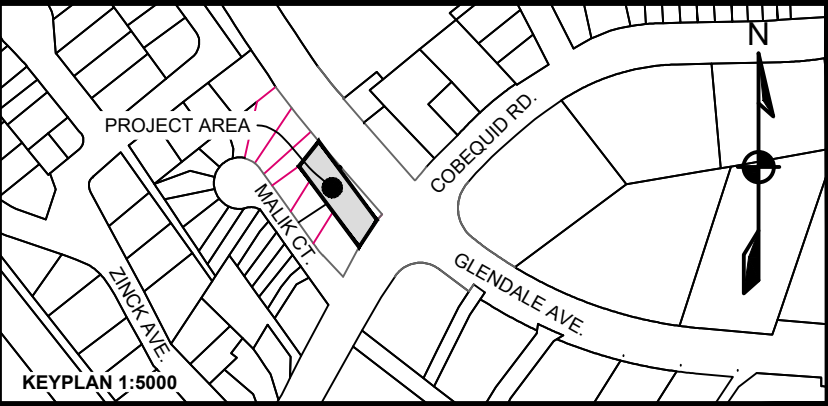
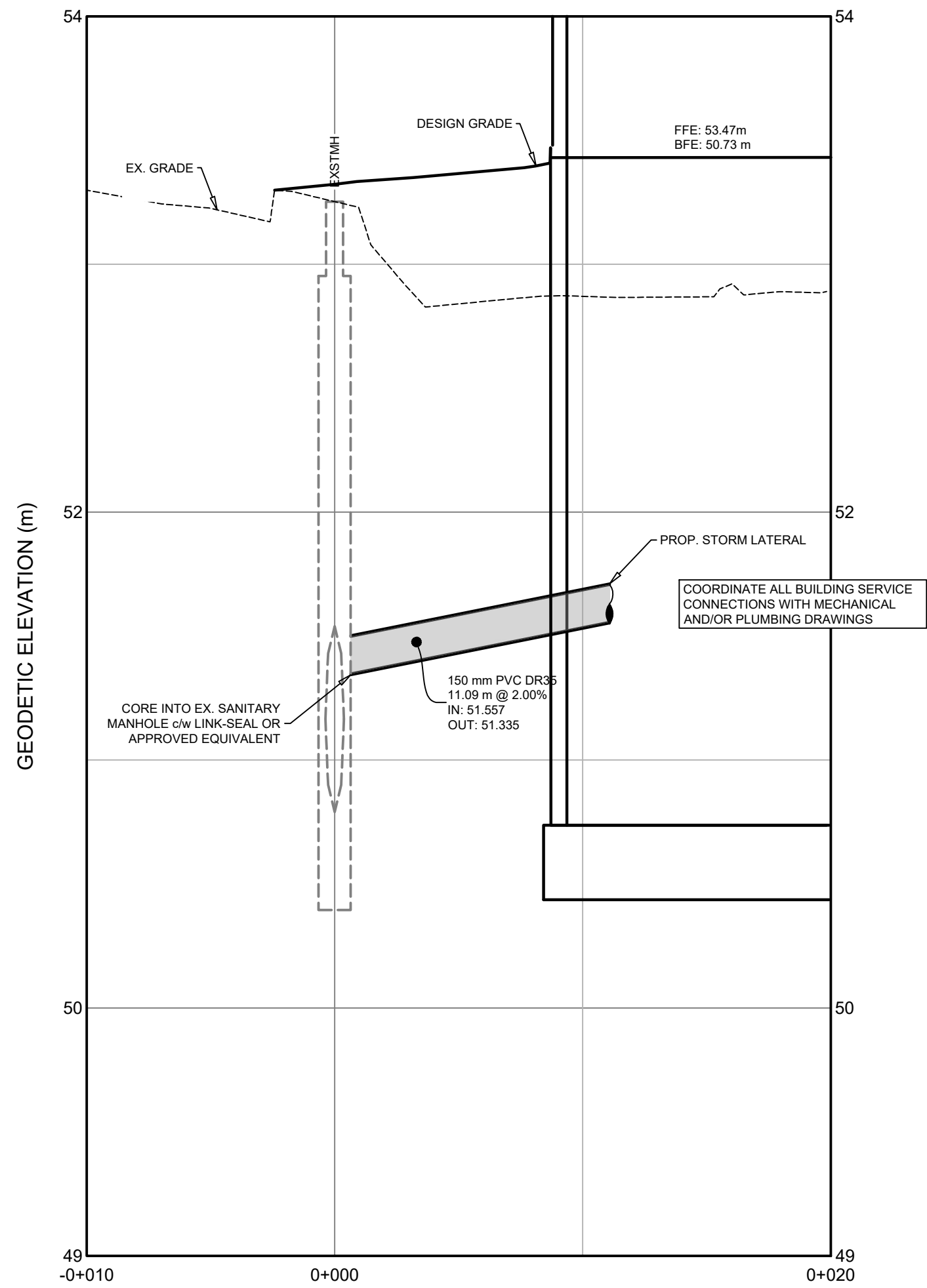
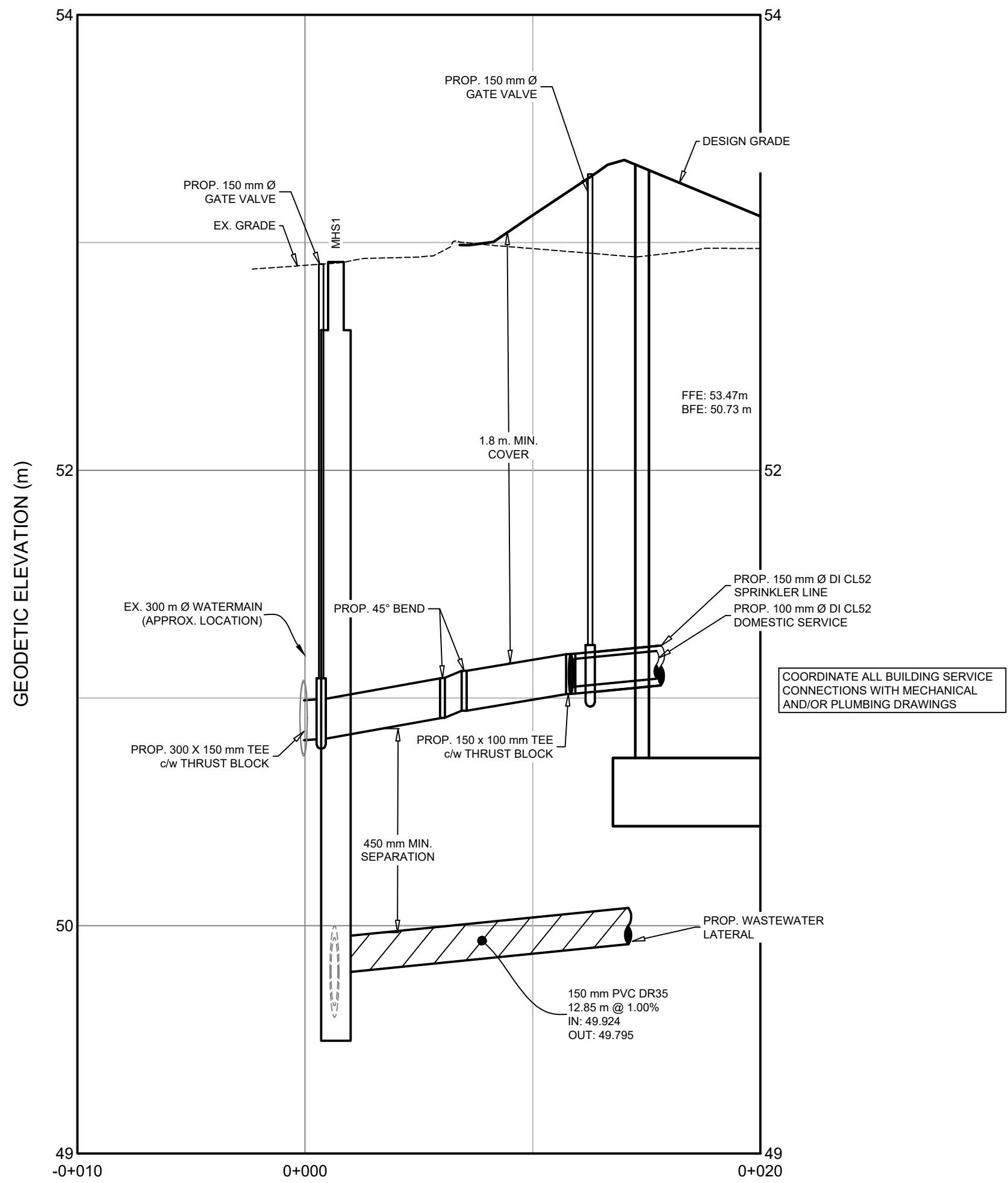
DISTURBED AREA



WATER & SANITARY PROFILE

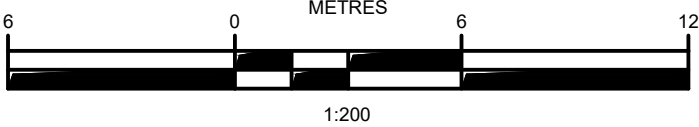


STORM PROFILE



LEGEND		
EXISTING	VERTICAL PROFILE	PROPOSED
-----	APPROXIMATE 1 IN 100 YEAR FLOOD LIMIT EASEMENT	-----
WAT-E	WATER PIPE	WAT-WAT
SA-E	SANITARY PIPE	SA-SA
ST-E	STORM PIPE	ST-ST
GAS-E	NATURAL GAS MAIN	GAS-GAS
-----	WATER LATERAL	-----
-----	SANITARY LATERAL	-----
-----	STORM LATERAL	-----
-----	NATURAL GAS LATERAL	-----
-----	SIDEWALK	-----
-----	WALKWAY/AT. TRAIL	-----
-----	GUARDRAIL	-----
-----	TOP OF SLOPE	-----
-----	BOTTOM OF SLOPE	-----
X-----X	FENCELINE	X-----X
CURB CUT/RAMP	AIR RELEASE VALVE	EXISTING PROPOSED
CURBSTOP	WATER VALVE	EXISTING PROPOSED
REDUCER	HYDRANT	EXISTING PROPOSED
PRECAST HEADWALL	CATCH-BASIN	EXISTING PROPOSED
STREET SIGN	UTILITY POLE w/ GUY WIRE	EXISTING PROPOSED
STREET TREE	GLB	EXISTING PROPOSED
	URD	EXISTING PROPOSED

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DESIGN POINT
ENGINEERING & SURVEYING

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CLIENT

TEAL

PROJECT DESCRIPTION

216 COBEQUID ROAD SERVICING

LOWER SACKVILLE, NOVA SCOTIA

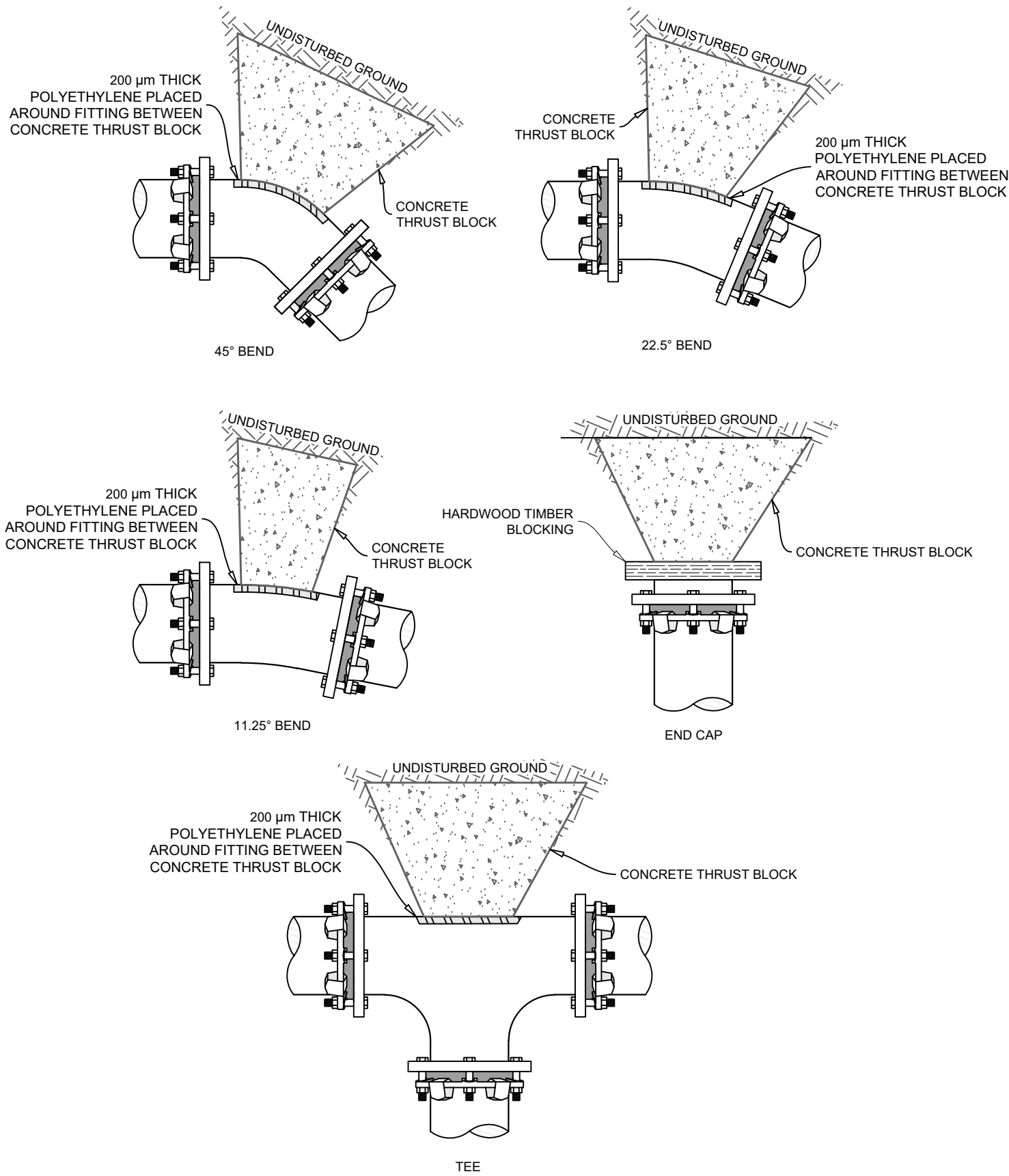
SHEET DESCRIPTION

SITE SERVICING PLAN

Drawn T. ARMOUR	Engineer N. FOUGERE	Project No. 19-242	Drawing No. C-103
Scale 1:200 H, 1:20 V	Filename 19-242_Base.dwg		3 of 4

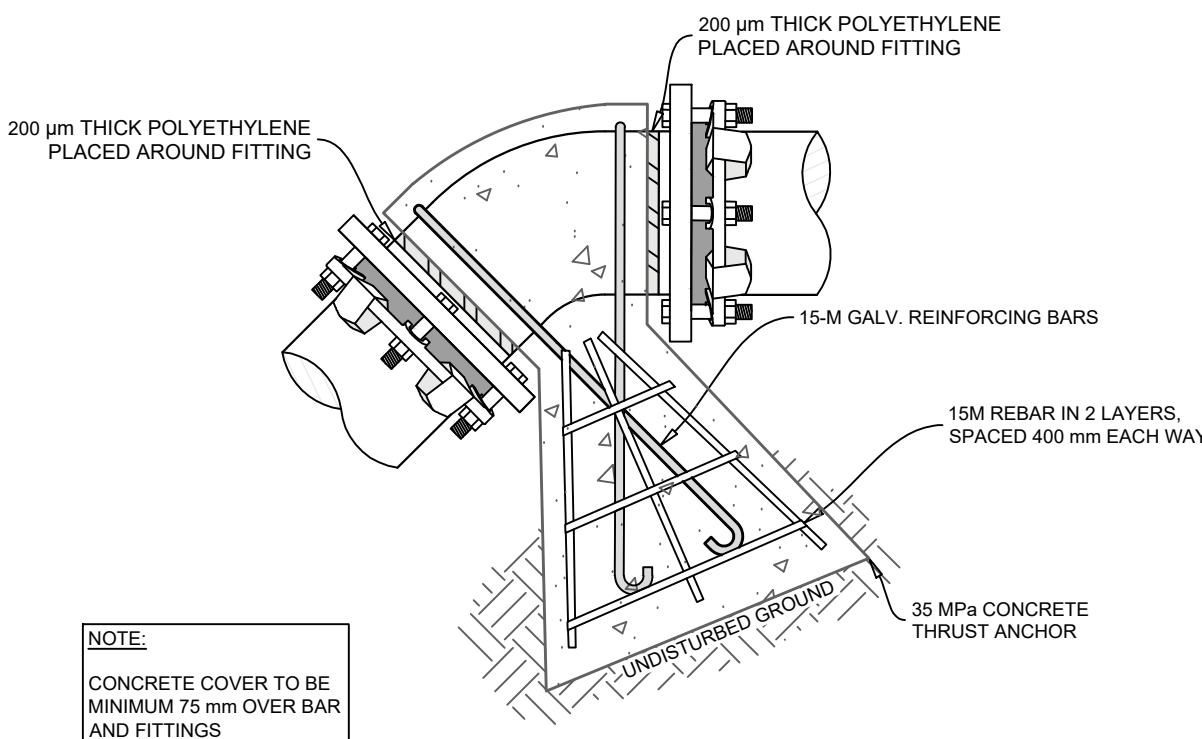
THRUST BLOCK DETAILS

DUCTILE IRON CL52 MECHANICAL JOINT FITTINGS



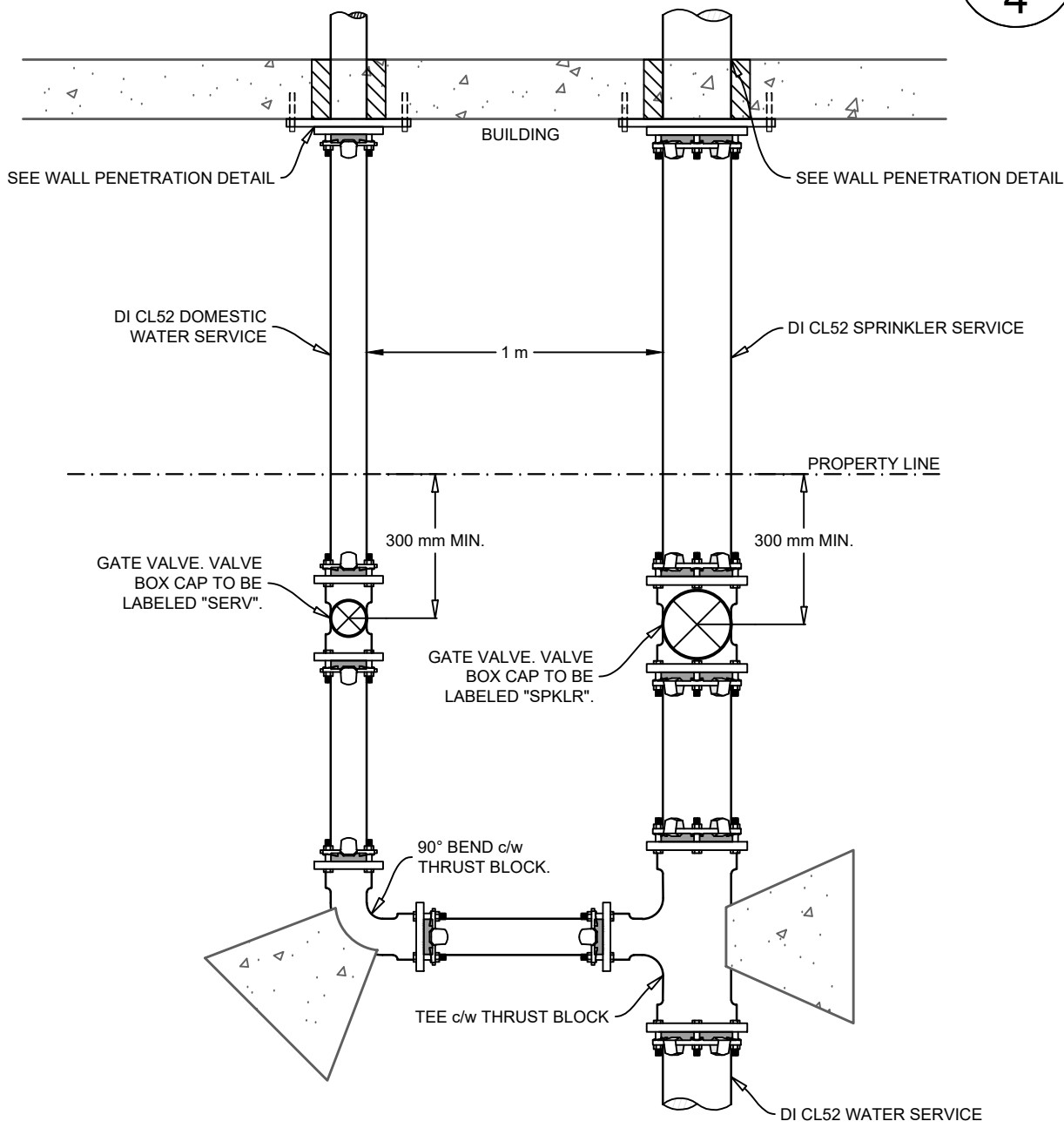
MINIMUM THRUST BLOCK CONTACT AREA (m²)					
BASED ON SOIL BEARING CAPACITY OF 100 kPa AND INTERNAL PIPE PRESSURE OF 1035 kPa.					
PIPE DIAMETER (mm)	CAP	TEE	45° BEND	22.5° BEND	11.25° BEND
100	0.25	0.25	0.20	0.16	0.16
150	0.48	0.48	0.40	0.24	0.16
200	0.80	0.80	0.64	0.32	0.16
250	1.28	1.28	0.96	0.48	0.24
300	1.76	1.76	1.44	0.72	0.40
350	2.40	2.40	1.96	0.96	0.54
400	3.13	3.13	2.56	1.28	0.71

THRUST ANCHOR DETAIL

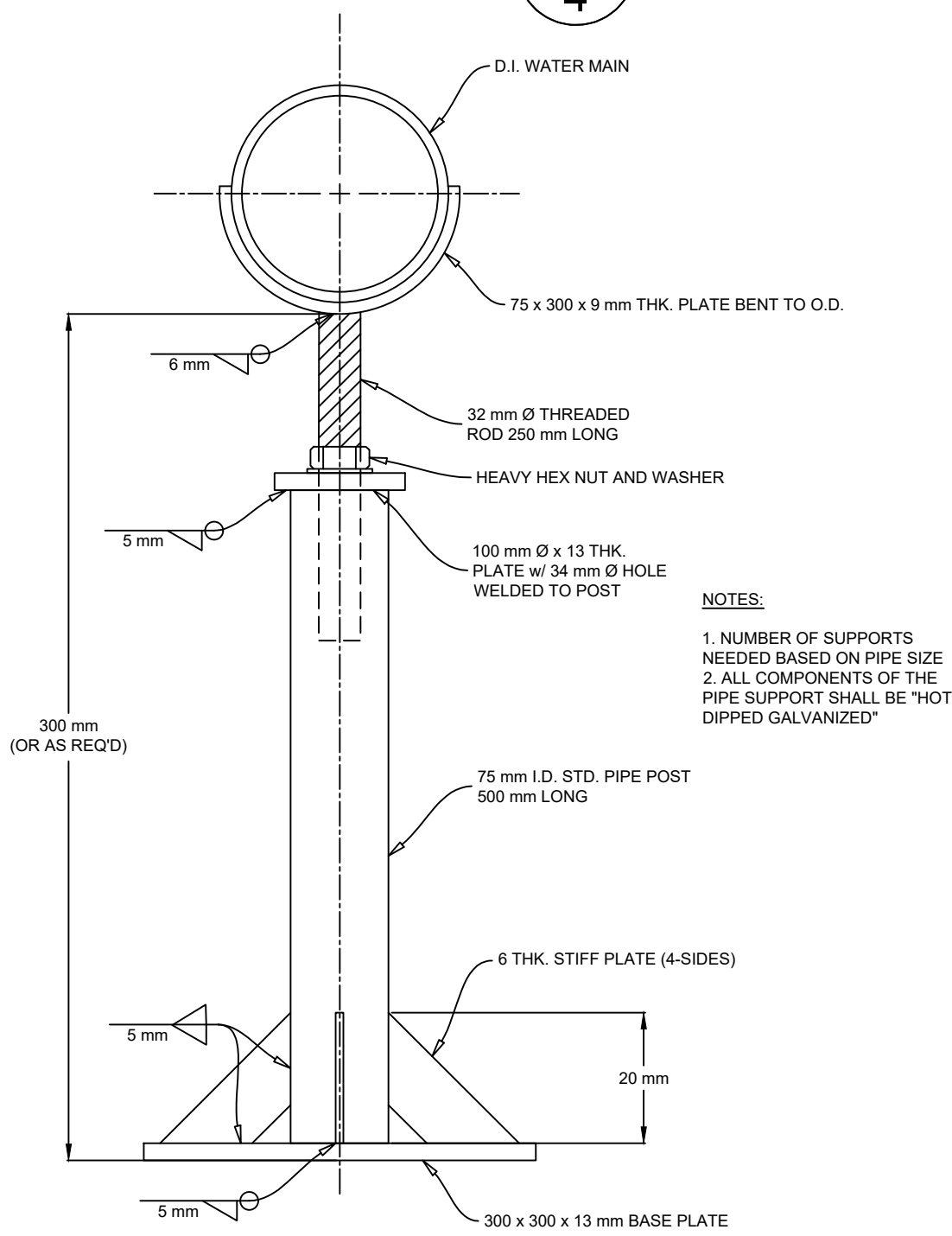


MINIMUM VOLUME OF CONCRETE (m³)			
BASED ON INTERNAL PIPE PRESSURE OF 1035 kPa.			
PIPE DIAMETER (mm)	45° BEND	22.5° BEND	11.25° BEND
150	0.80	0.40	0.40
200	1.40	0.70	0.70
250	2.10	1.10	1.10
300	3.00	1.50	1.50
400	5.00	3.00	2.00

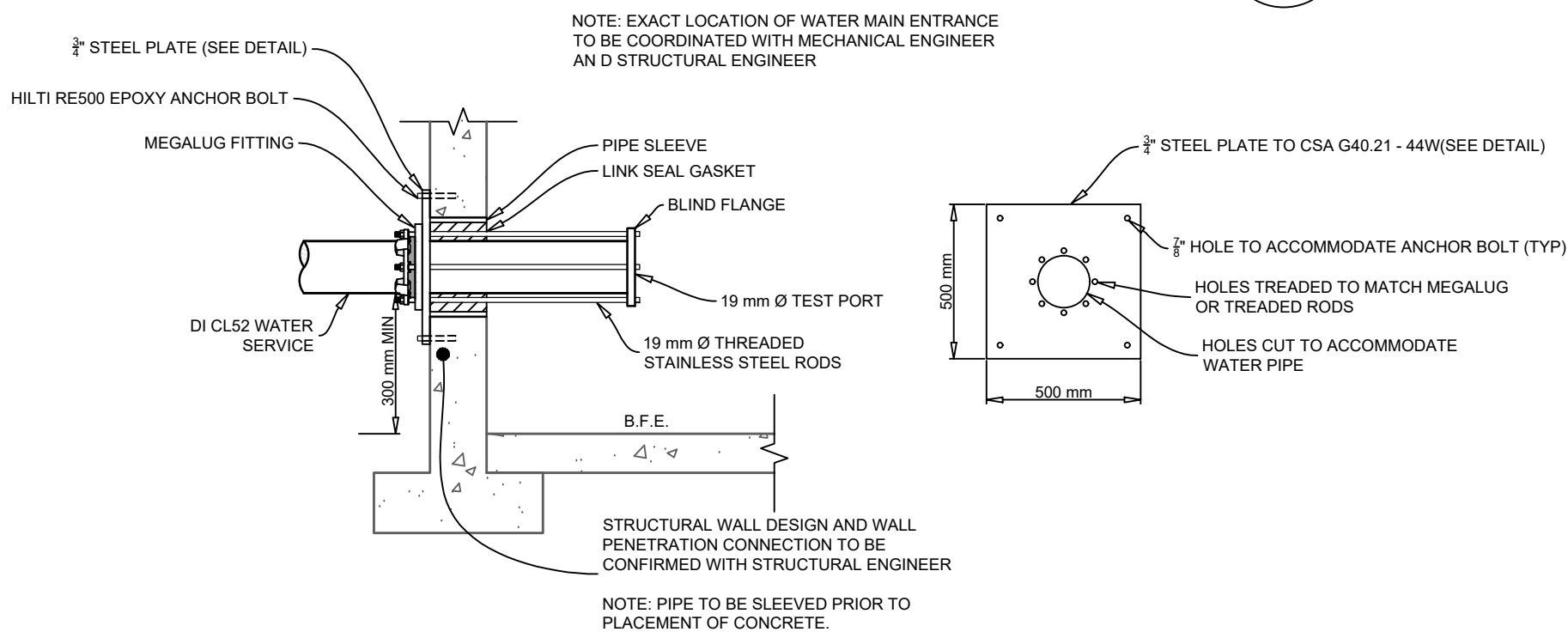
WATER AND SPRINKLER SERVICE CONNECTION



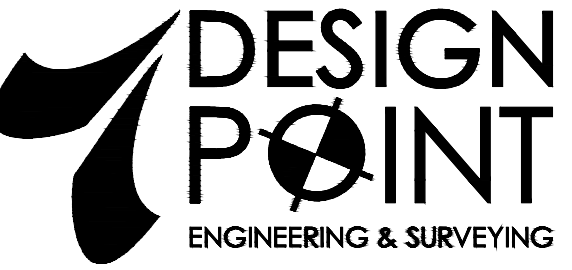


PIPE SUPPORT DETAIL



WATER SERVICE WALL PENETRATION DETAIL



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216 COBEQUID ROAD SERVICING LOWER SACKVILLE, NOVA SCOTIA		
SHEET DESCRIPTION		
CONSTRUCTION DETAILS		
Drawn T. AMROUR	Engineer N. FOUGERE	Project No. 19-242
Scale N.T.S.	Filename 19-242_Base.dwg	Drawing No. C-104 4 of 4