

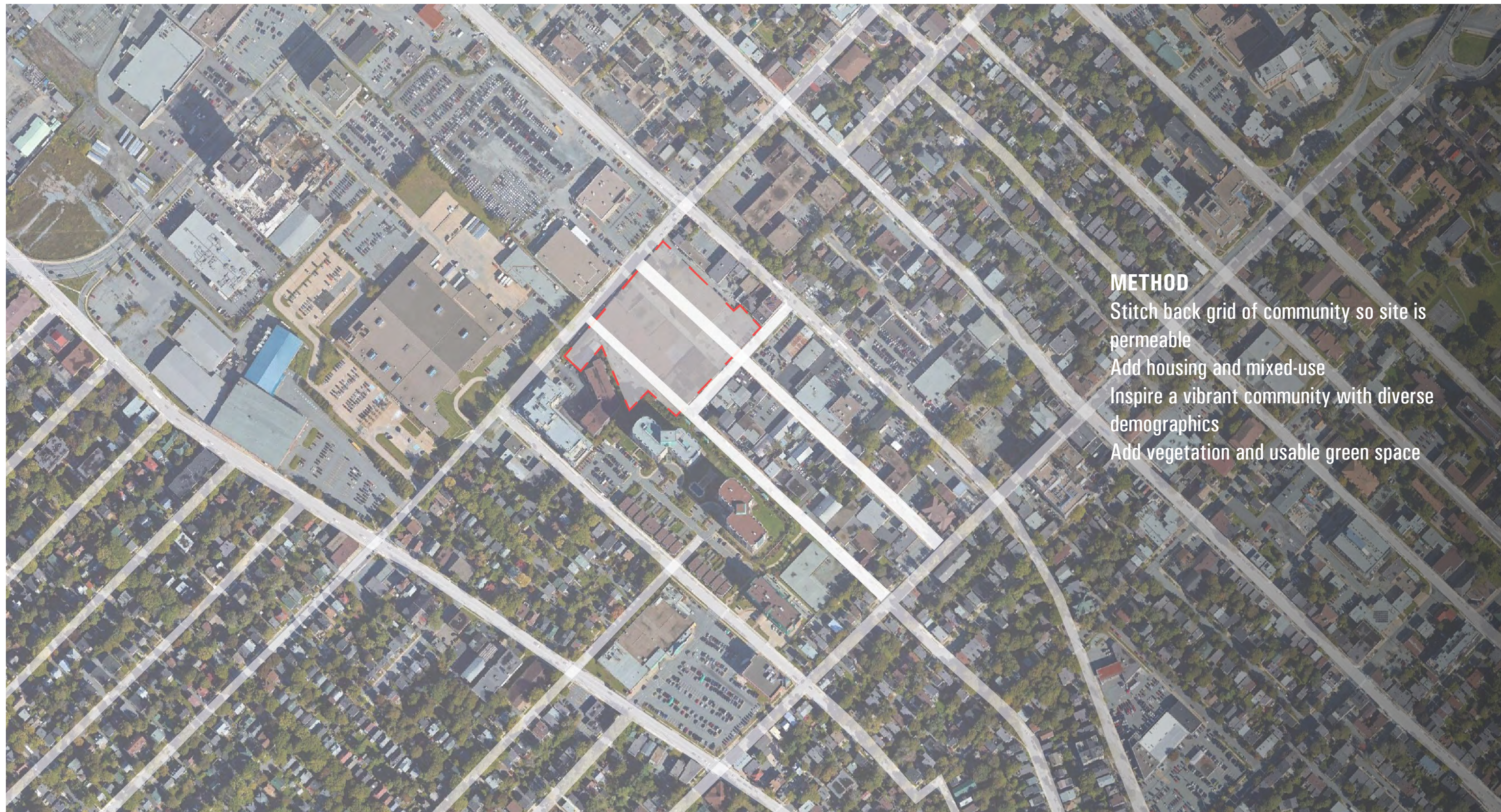
**PUBLIC MEETING
TABLE DISCUSSION
CASE 20871 22/01/19**





OPPORTUNITIES FOR HALIFAX

Housing for all people: different sizes of families and variable incomes
A mixed-use neighborhood with housing, retail, and commercial space
Walkable neighborhood linked to bike lanes and transit
Facilitates entrepreneurial business opportunities
Access to multiple green spaces
Respects solar orientation and minimizes wind effects
Hub and destination - facilitates everyday life and events in the city



METHOD

Stitch back grid of community so site is permeable

Add housing and mixed-use

Inspire a vibrant community with diverse demographics

Add vegetation and usable green space

SUMMER SOLSTICE

8AM

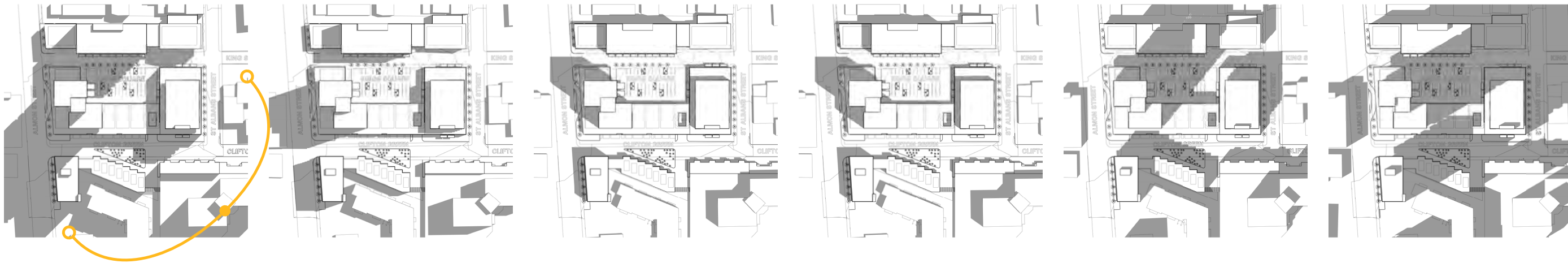
10AM

12PM

2PM

4PM

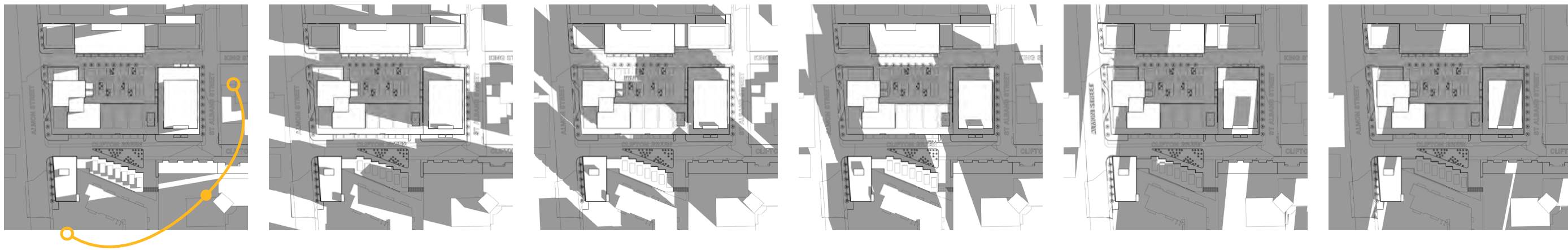
6PM



FALL EQUINOX



WINTER SOLSTICE



SHADOW STUDY





NEIGHBORHOOD

OUTDOOR ROOMS

Two outdoor public rooms are framed by new mixed-use buildings

KING SQUARE:
Hard-scape plaza for parking and other events

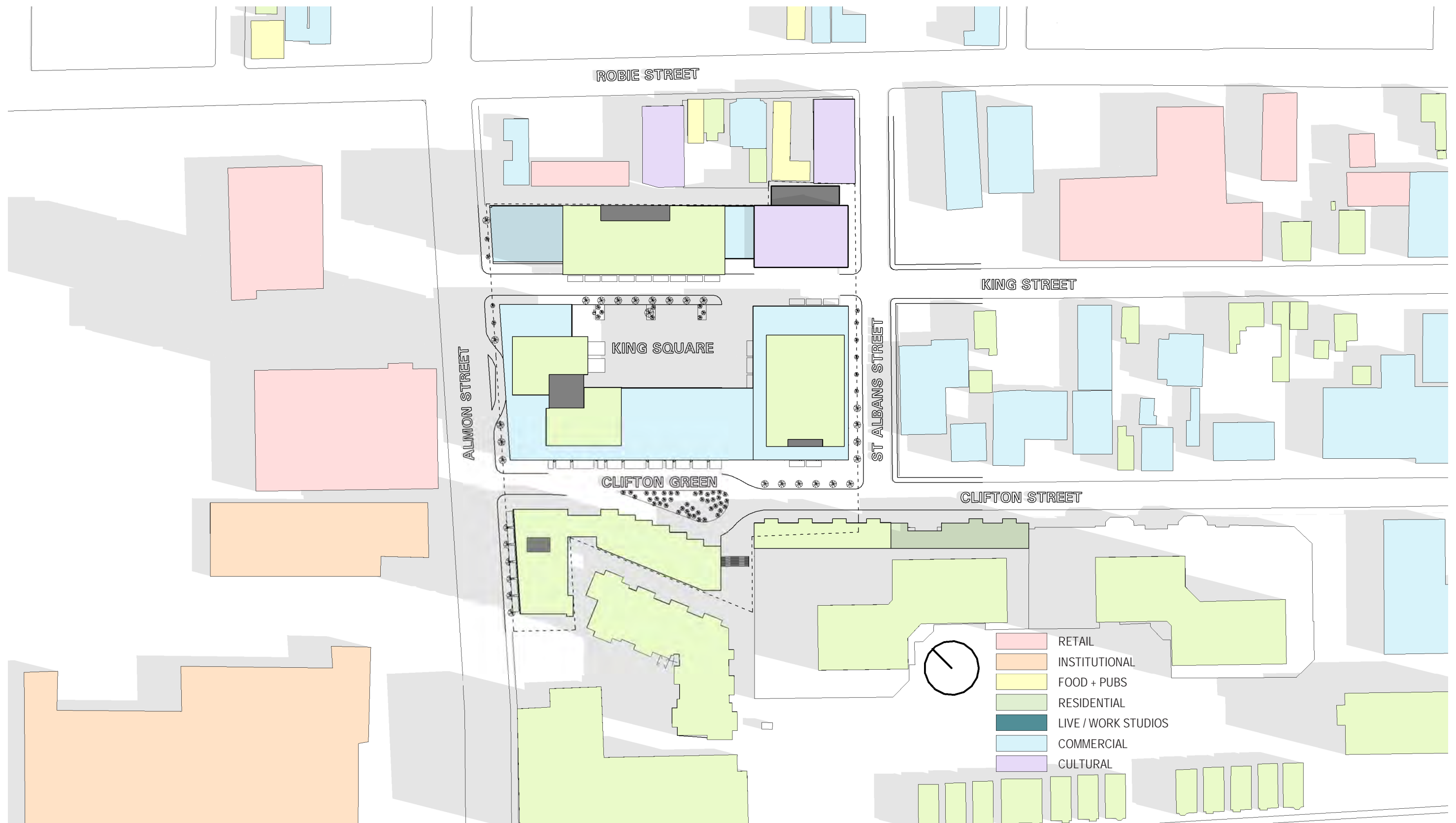
CLIFTON GREEN:
A park nestled among residential and live/work studios



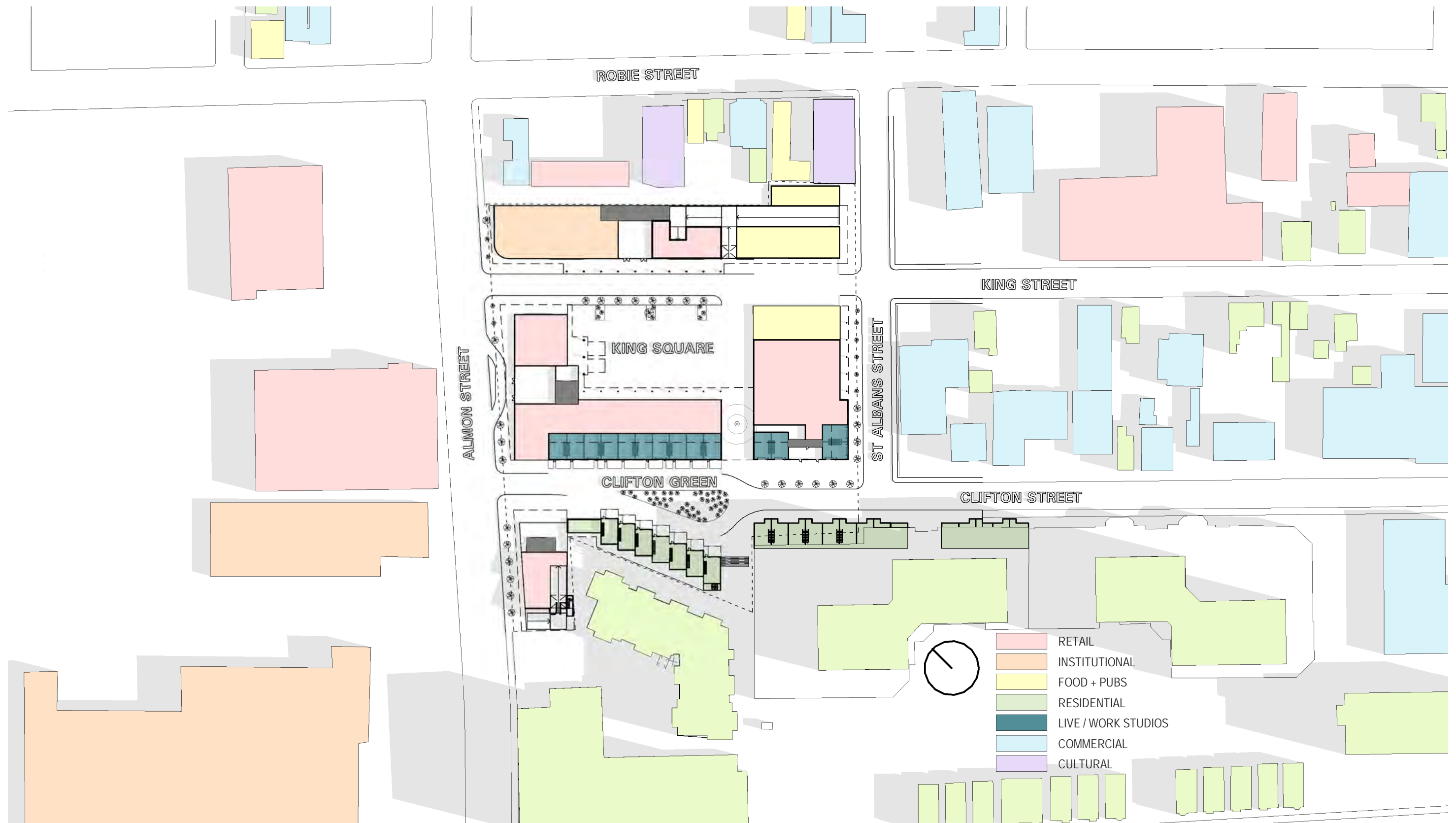
TWO OUTDOOR ROOMS FOR THE CITY

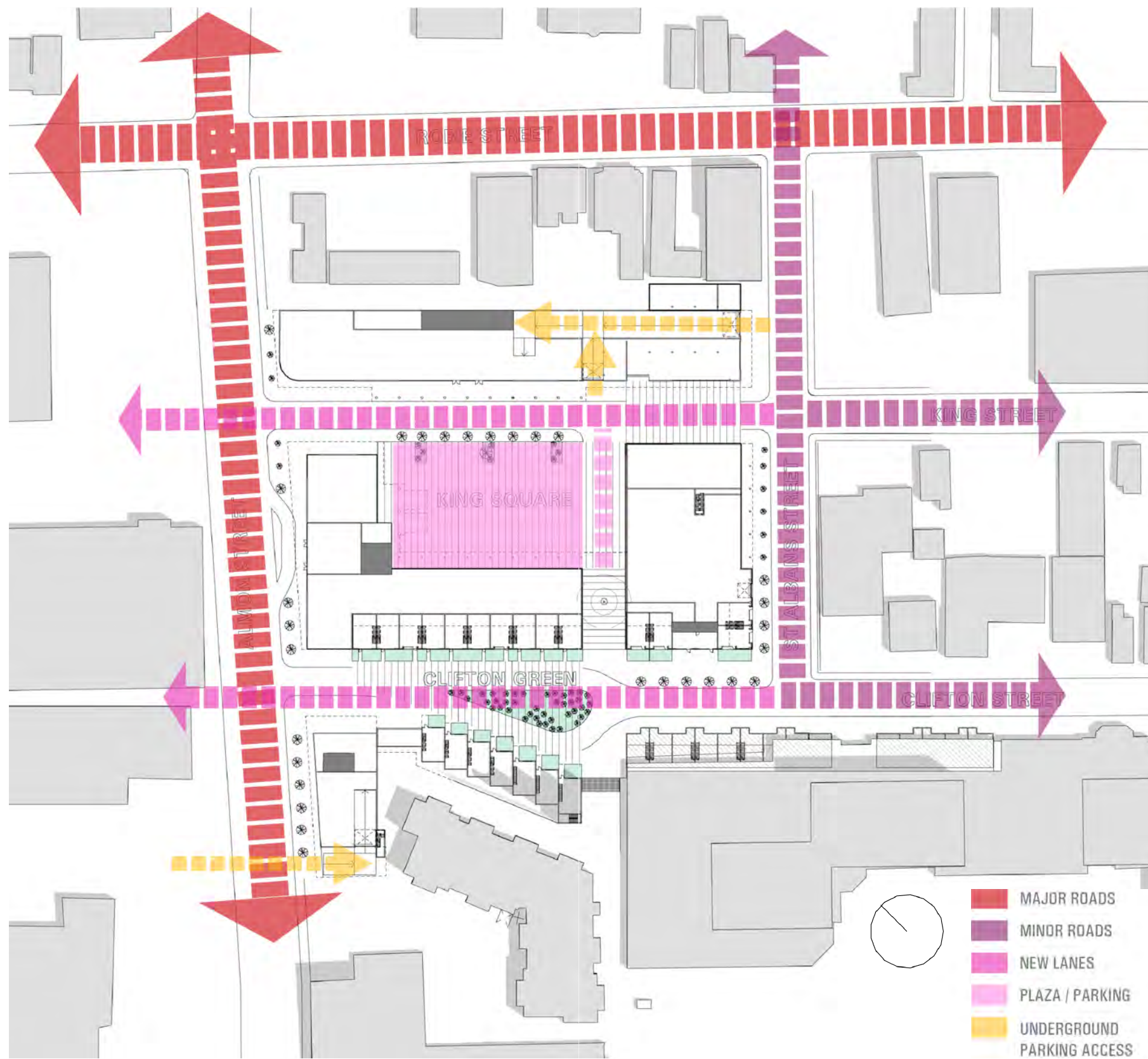


MIDTOWN NORTH DEVELOPMENT | 6

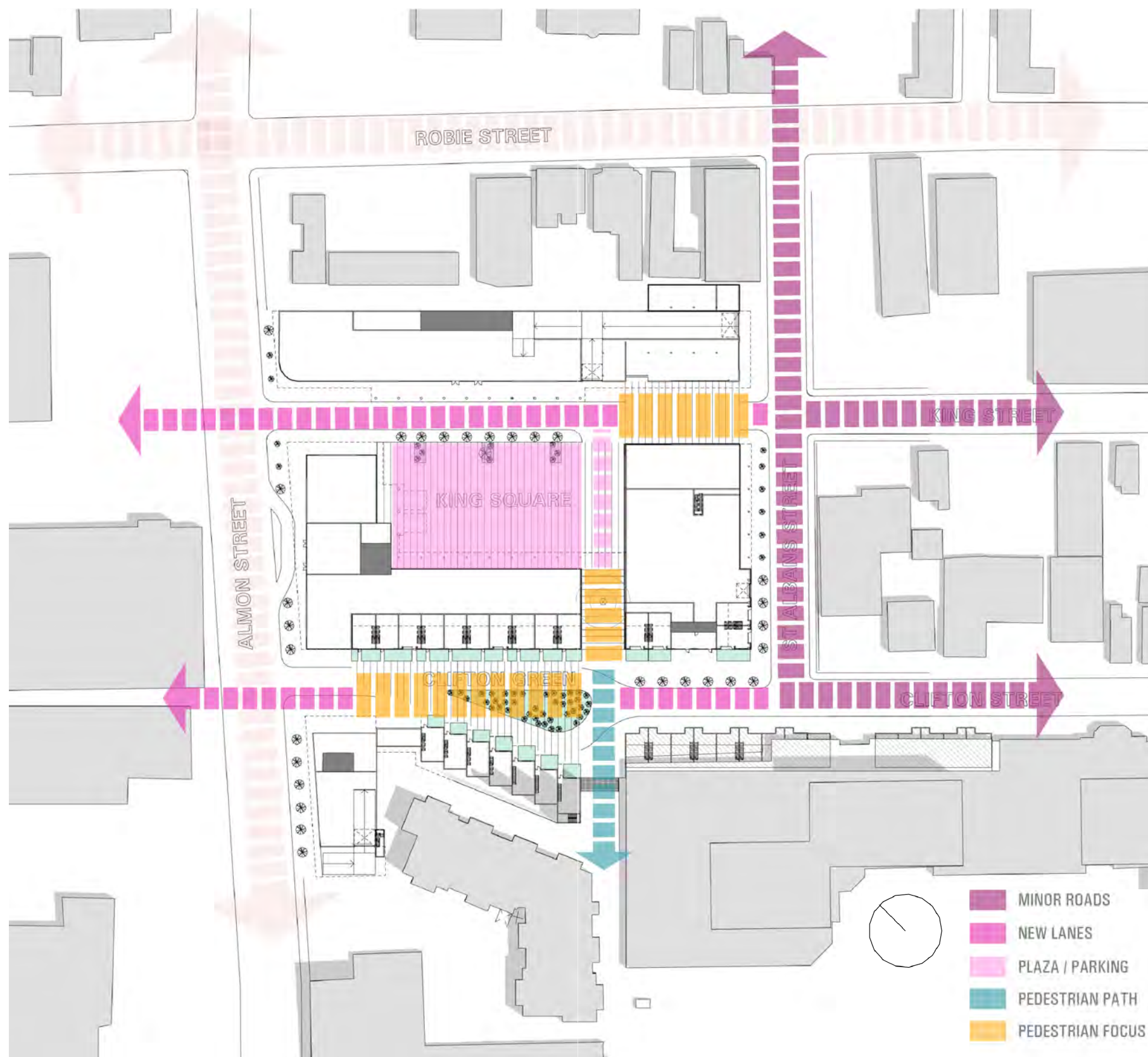


SITE PLAN | WITH USES ABOVE GROUND FLOOR





SCHEMATIC SITE PLAN | SITE PERMEABILITY- VEHICLES



SCHEMATIC SITE PLAN | SITE PERMEABILITY- PEDESTRIAN



AERIAL VIEW 1



AERIAL VIEW 2



SITE PLAN LEGEND

	EXISTING BLDG FOOTPRINTS
	PROPOSED BLDG FOOTPRINTS
	PROPOSED BLDG CORES
	POTENTIAL FUTURE DEVELOPMENT
	LANDSCAPED PEDESTRIAN / CAR ZONE
	GARDEN / PARK / GREEN ROOF
	PROPERTY LINE
	OUTLINE OF FLOORS ABOVE

BUILDING A	
APARTMENT COUNT	206
LIVE-WORK STUDIOS	10
GROSS FLOOR AREA (SF)	322,525

BUILDING B	
APARTMENT COUNT	55
LIVE-WORK STUDIOS	4
GROSS FLOOR AREA (SF)	97,238

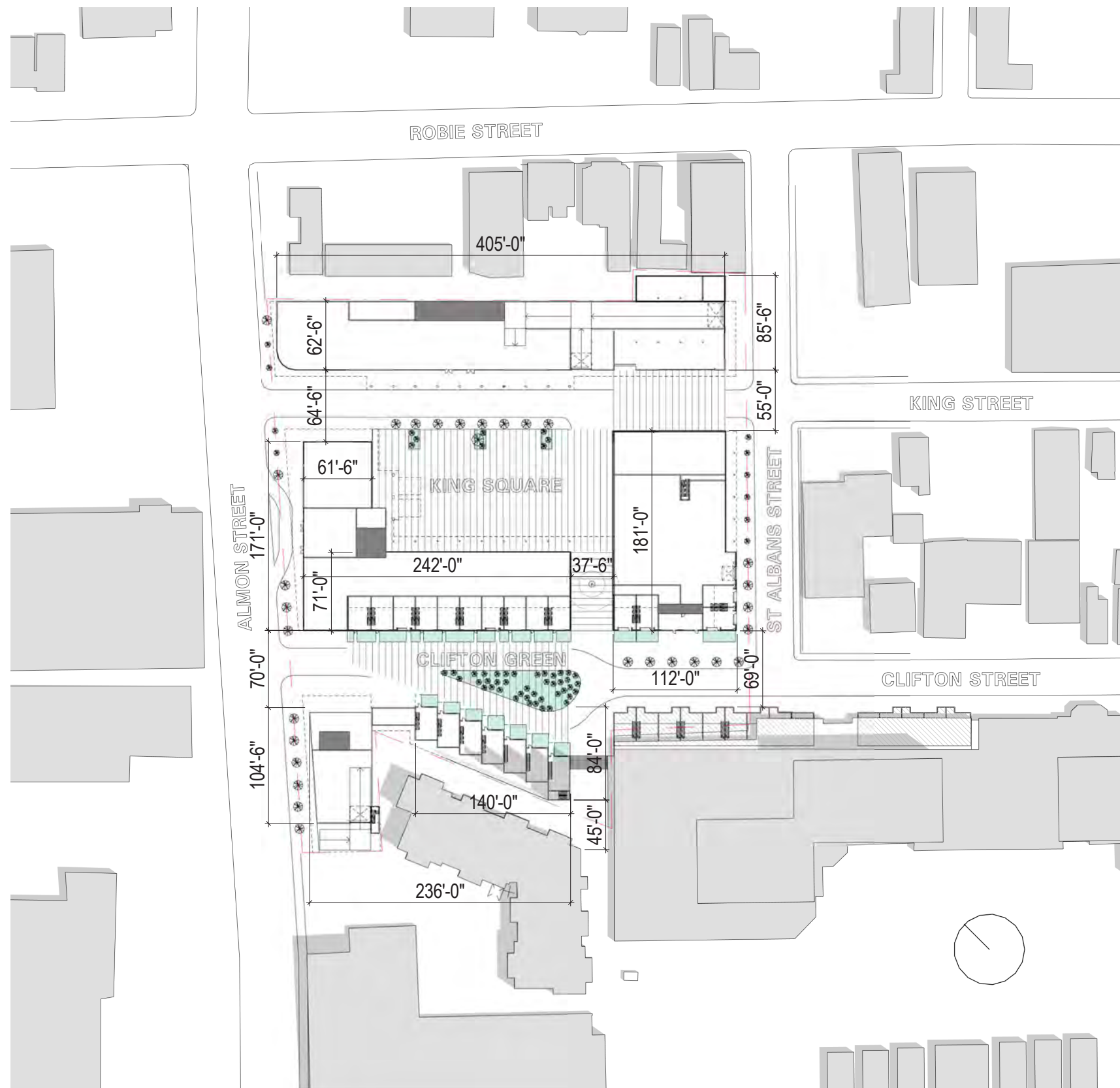
BUILDING C	
GROSS FLOOR AREA (SF)	159,699

BUILDING D	
APARTMENT COUNT	69
TOWNHOUSES	8
GROSS FLOOR AREA (SF)	108,542

BUILDING E	
GROSS FLOOR AREA (SF)	22,349

TOTAL FLOOR AREA (SF)	710,353
TOTAL UNITS	352

PARKING	
P1 UPPER PARKING	184,312
P2 LOWER PARKING	184,312
GROSS PARKING AREA	368,624



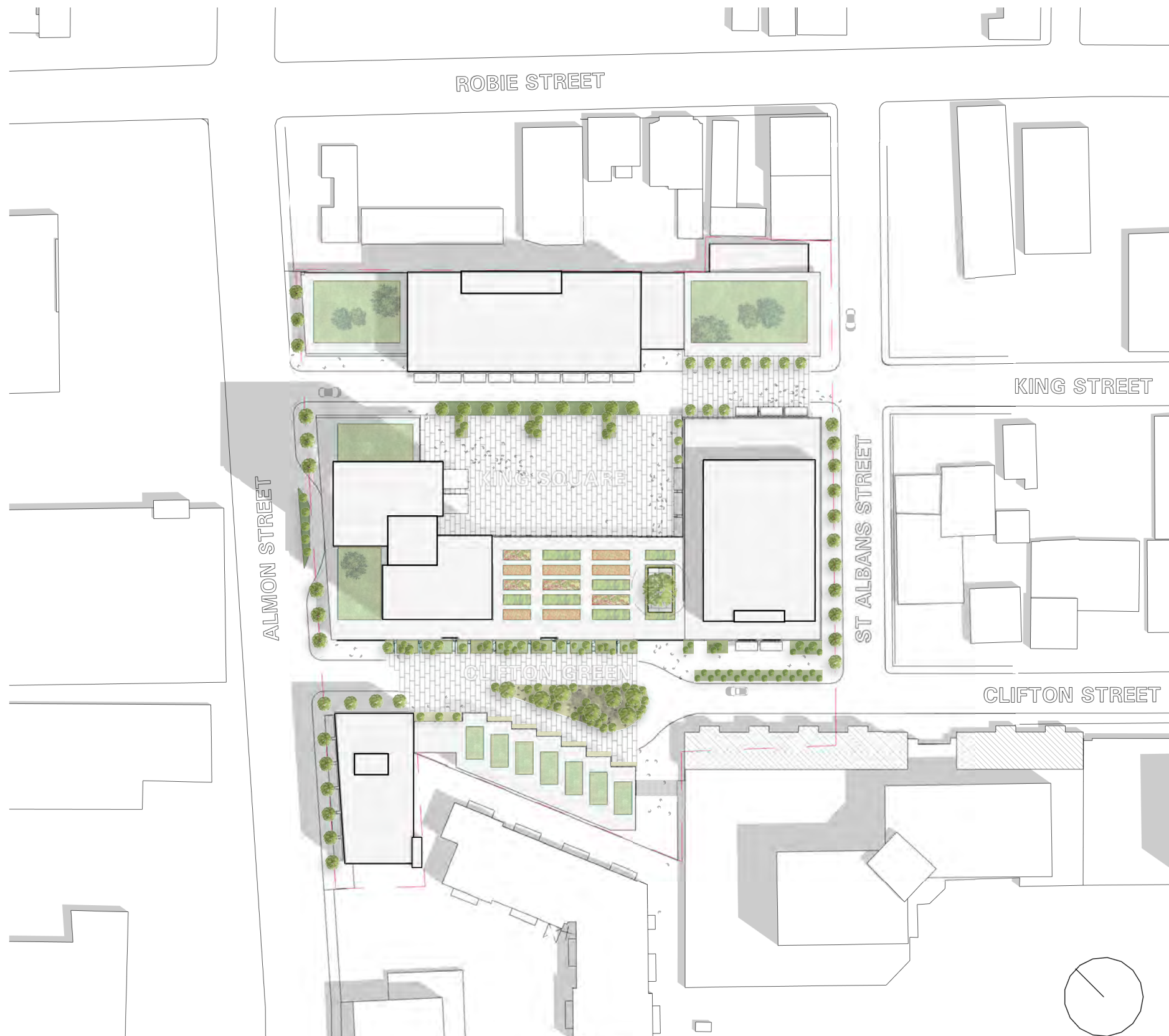
- SITE PLAN LEGEND**
- EXISTING BLDG FOOTPRINTS
 - PROPOSED BLDG FOOTPRINTS
 - PROPOSED BLDG CORES
 - POTENTIAL FUTURE DEVELOPMENT
 - LANDSCAPED PEDESTRIAN / CAR ZONE
 - GARDEN / PARK / GREEN ROOF
 - PROPERTY LINE
 - OUTLINE OF FLOORS ABOVE

SITE AREA:	184,314
GFA:	710,353
GFAR:	3.85

Note: all areas in square feet

RENTABLE AREAS

RESIDENTIAL [apartments, studios, townhouses]	328,902
COMMERCIAL [offices]	18,764
RESIDENTIAL / COMMERCIAL [Building C: office / apt]	92,688
RETAIL [drugstore, shops]	29,156
INSTITUTIONAL [bank, medical center]	54,352
ENTERTAINMENT [restaurant, pub, cafe]	19,314







KING SQUARE CONNECTION





ALMON STREET APPROACH

LEGEND - FACADE MATERIALS

1. non-combustible cladding

2. curtain wall / window wall

3. masonry



BUILDING 'C'

BUILDING 'E'

LEGEND - FACADE MATERIALS

1. non-combustible cladding

2. curtain wall / window wall

3. masonry



BUILDING 'C'

BUILDING 'A'

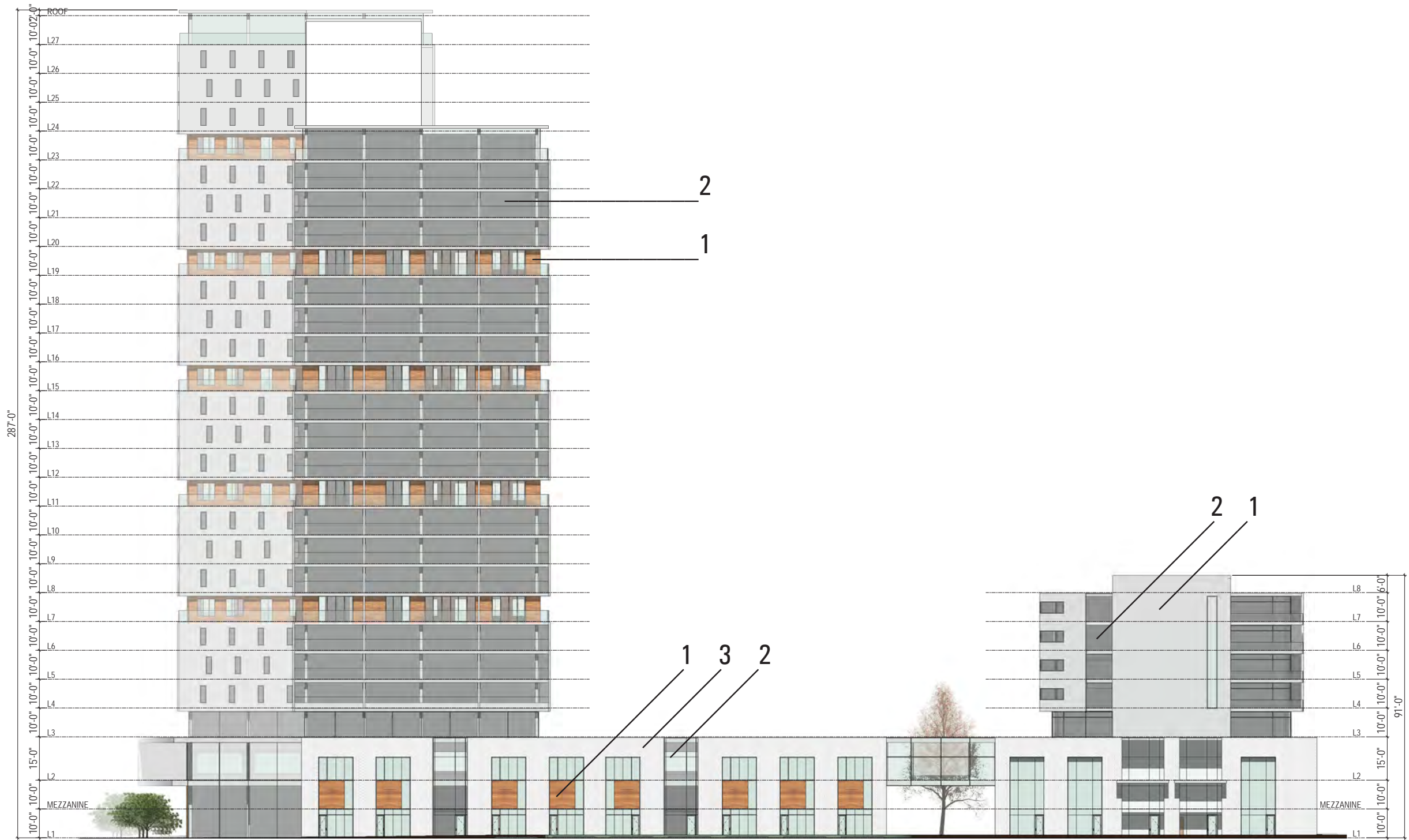
BUILDING 'D'

LEGEND - FACADE MATERIALS

1. non-combustible cladding

2. curtain wall / window wall

3. masonry



BUILDING 'A'

BUILDING 'B'

LEGEND - FACADE MATERIALS

1. non-combustible cladding

2. curtain wall / window wall

3. masonry



BUILDING 'B'

BUILDING 'E'

THANK YOU FOR YOUR TIME

clifton green

