

December 18th, 2017

Re: Case number 20898

To Whom it may concern ,

The attached presentation document represents a response to HRM planning on their decision for case number 20898 to be recommended for removal from the list of applicants considered for a site specific MPS Amendment. The attached response presentation reviews each of the Key planning Principles referenced in the response letter dated July 26th, 2017. After analysis and evaluation of each key planning principle we feel that the proposed development meets the intentions of the key principles and therefore should receive further consideration for a site specific MPS.

In addition to our response presentation our team has gone through an exercise of removing one full level from the development to further reduce FAR and Building height. Please refer to the attached revised elevations and floor plans of this reduced version. In exploration of a reduced height we feel that there is no significant benefit to the key planning principles and would request a meeting with HRM planning for us to review potential changes that would allow for this project to continue towards a site specific MPS amendment.

Sincerely,

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## An Ekistics Planning & Design Presentation

# Application 20898 1027-1037 Lucknow Street Site Specific SMPS Amendment Design Summary



Ekistics  
PLANNING & DESIGN

PREPARED FOR  
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SUBMITTED  
November, 17th, 2017

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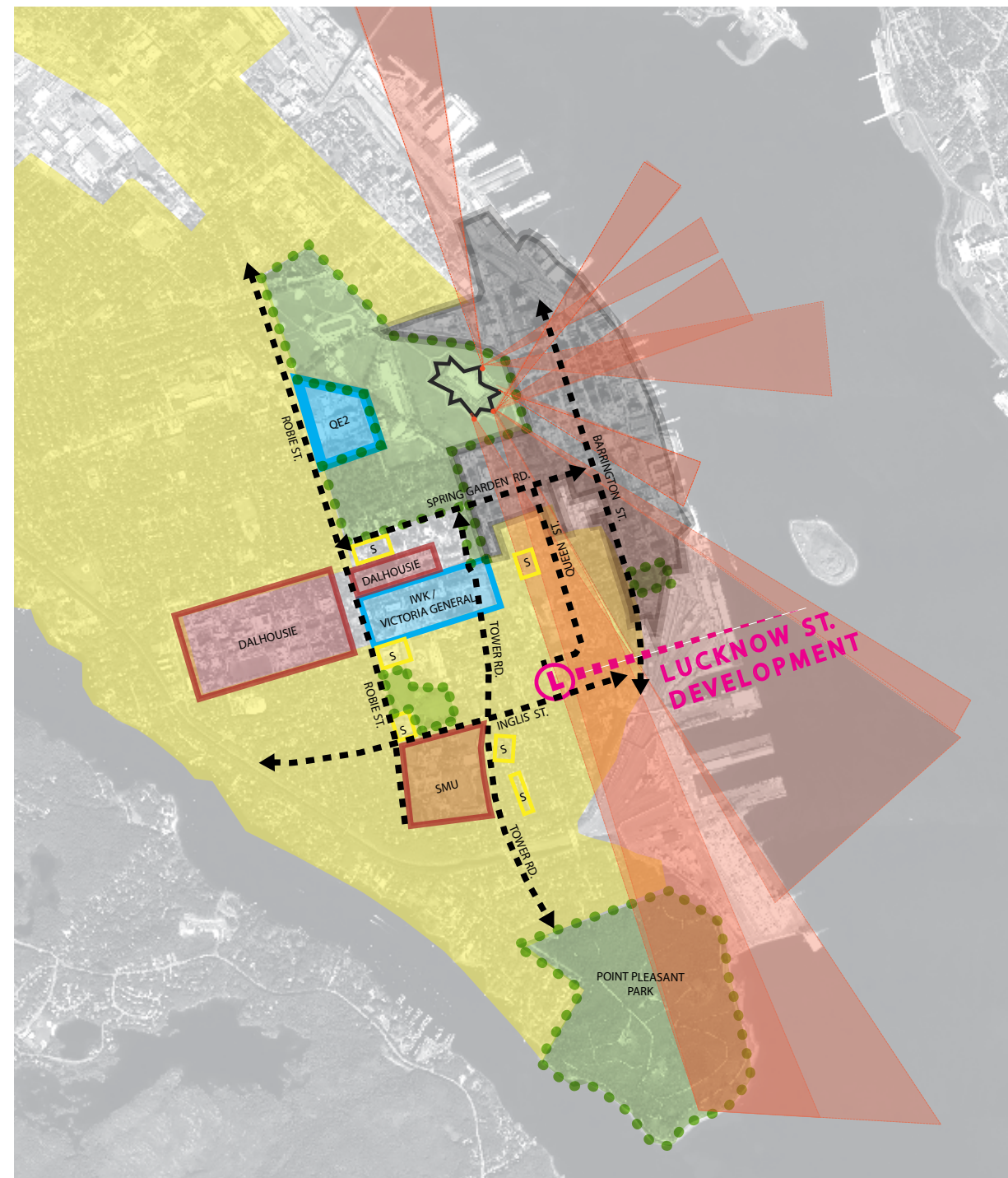




# Introduction

The following document represents a response to HRM planning on the decision for case number 20898 to be recommended for removal from the list of applicants to be considered for a site specific MPS Amendment. In our professional opinion the project meets all of the key planning principles presented by the center plan and should be considered for further refinement. With thorough analysis of this neighborhood we feel that its designation as Established Residential should be changed within the center plan urban structure map to a Higher Order Residential zone. The current site context and architectural building stock combined with its close proximity to downtown, transit, public open space, institutional employment, and intensive employment areas should make this site an ideal location for the proposed density. The following presentation reviews the Key planning Principles referenced in the response letter dated July 26th, 2017.

We would ask for the opportunity for further refinement and development with HRM planning and feel that this project is an ideal candidate for a site specific MPS amendment.



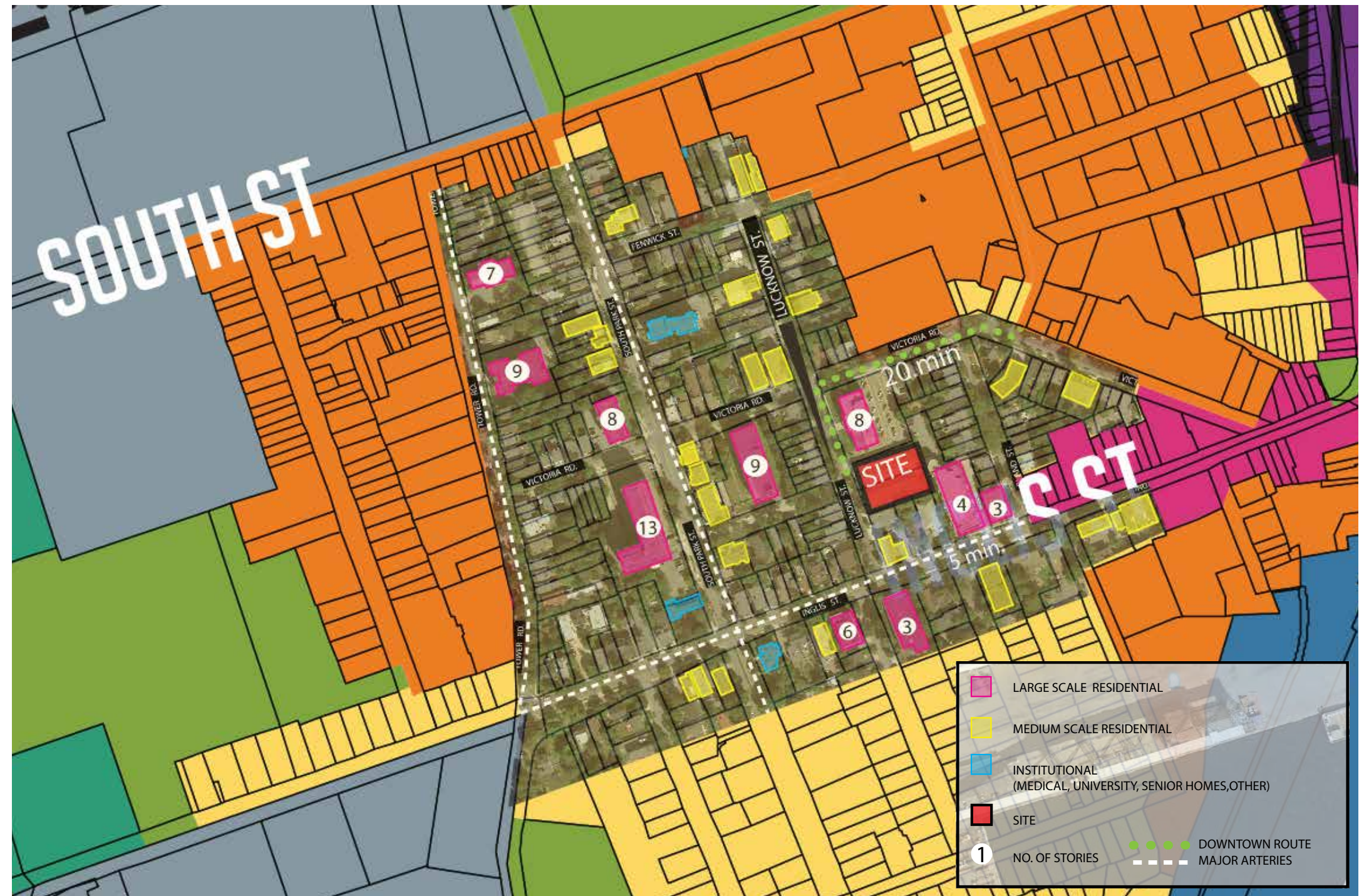
- LOW DENSITY RESIDENTIAL
- MEDICAL
- UNIVERSITIES
- DOWNTOWN CORE
- INSTITUTIONAL / SCHOOLS
- PUBLIC GREEN SPACES
- VIEW PLANE

City Context Map



# Introduction

The adjacent map illustrates the site and its surrounding building typologies. There are a number of large scale and medium scale multi residential buildings in the surrounding neighborhood. This neighborhoods mixed housing stock is supported by its central location between Saint Mary's university and the Downtown core. With proper streetscape design, building massing, transitioning, and building articulation we feel this neighborhood is a good candidate for a site specific MPS amendment.



Urban Structure Map Overlay



# Key Planning Principle review

- 1 TRANSITION**
- 2 PEDESTRIAN ORIENTED**
- 3 HUMAN SCALE**
- 4 BUILDING DESIGN**
- 5 CONTEXT SENSITIVE**
- 6 STRATEGIC GROWTH**
- 7 COMPLETE NEIGHBORHOODS**

# Transition

Thorough consideration of building massing has been given to directly surrounding properties and to the further neighborhood context beyond.

The first element in helping this transition is the developments front yard set back. This 8'8" setback mirrors the neighborhood context and maintains the urban fabric of the neighborhood. This setback also allows for a further transition to the building with landscaped planters, trees, entry steps ect.

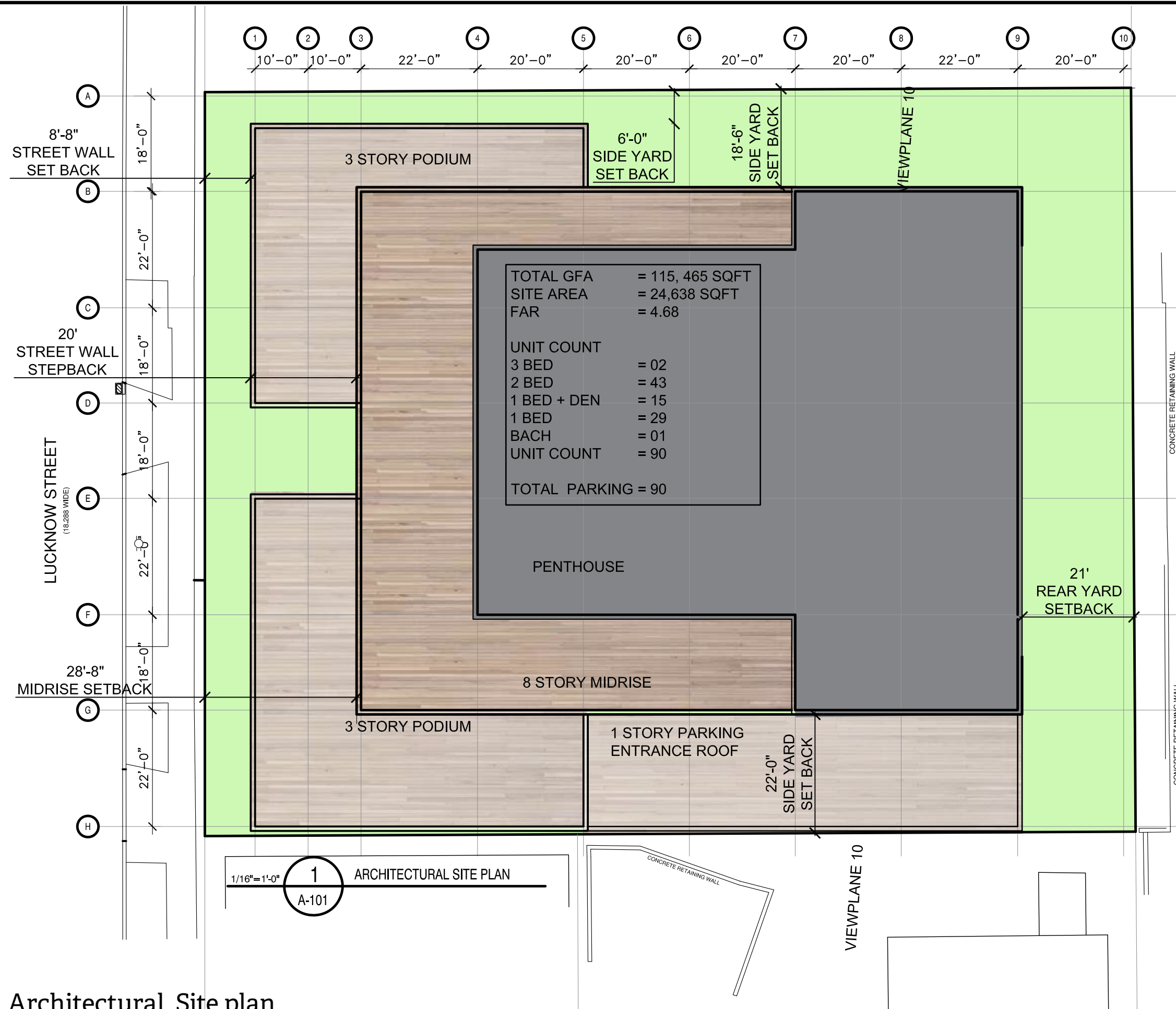
A 22' setback from the side yard above street wall to the south, an 18' set back to the north, combined with a 20' rear yard setback, provides a natural transition to neighboring properties. This combined with a 20' front yard step back allows for the 3 level walk up units along the street frontage to transition the massing of the development. This step back is double what is currently prescribed within the downtown zone.

Massing transition is further reinforced by the 2 level bay window projections that line the street frontage.

The penthouse level is setback 50' from the street and 40' from the neighboring property to the south. These generous setbacks make the upper penthouse level virtually invisible from the street perspective.







Architectural Site plan

# Pedestrian Oriented

Many design features were considered to maintain a pedestrian oriented design. The streetscape features an 8'-8" setback to match the current urban fabric of the street. This set back also allows for a number of pedestrian oriented design features to be included. The individual unit entrances and main building entrance provide well lit covered entrances for a safe and comfortable pedestrian experience. The articulation of the streetscape is derived from the neighboring Victorian row houses, and like them, the entrances and bay windows provide an architectural experience that responds to the rhythm and variety of walking speed. Site grading and entrances were design to maximize barrier free access. The primary parking entrance was deeply recessed to remove it from the streetscape experience and provide an additional buffer between vehicle traffic accessing the building and pedestrian activity on the sidewalk.



Streetscape perspective





View from Lucknow Street looking North



# Human Scale

The conceptual design of the project was derived to provide a human scale experience for the public. The combination of a front yard setback, with a generous 20' street wall step back maintains a massing that when viewed from the ground plane reinforces the residential scale of the neighborhood.

The front yard setback allows for landscaped planters, walkways and covered entrances for individual units and was designed as a contemporary version of the Victorian row houses that exist within the neighborhood.

Brick, stone and metal accents were used as materials to further strengthen the human scale massing of the building. Light toned brick and sandstone landscape features relate to the history of the city but also introduce unitized materials that are at the scale of hand-held to provide a textural and pattern that relates to the human scale. Hand rails, unit number panels, and window trim features in bronze metal further reinforce the human scale details at the street level.



Precedence and material reference



Human Scale Materials



Walk up unit precedence



# Human Scale



Entrance Detail



Bay window projection detail



# Building Design

As mentioned previously the street scape portion of the building was designed as a contemporary version of a Victorian Row house. The streetscape features individual unit entrances with integrated planters. Each structural bay features a 2 level Bay window projection to further articulate the streetscape. Landscape features are located at grade and within raised stone planter beds. The primary building entrance is covered by an illuminated canopy and the glass entry is set back a total of 30' from the front yard property boundary. The underground parking entrance is set back from the street 20' to further reinforce the presence of the individual row house massing. Side and rear yards feature landscaped buffers and within the building step backs landscaped roof terraces further soften the transition in massing.

The Mid-rise / penthouse massing is divided into three vertical mases that further reduce the visual scale of the building, this definition is further reinforced with a 3'10" setback and material change between grids 5 and 7. The building articulation and material changes allow for the building to read as a series of smaller masses while still being consistent in design language.

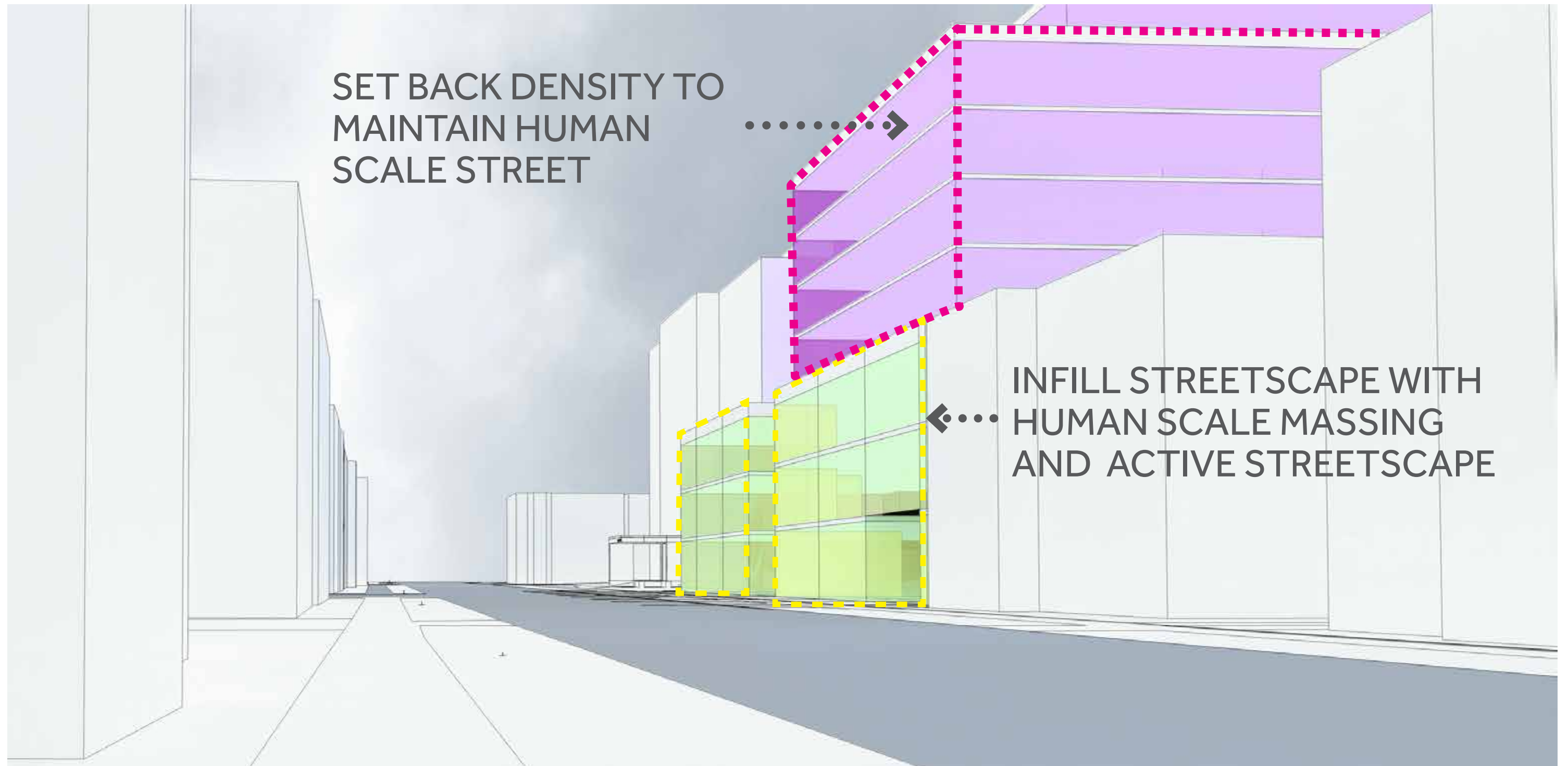


View from North-



View from Southeast





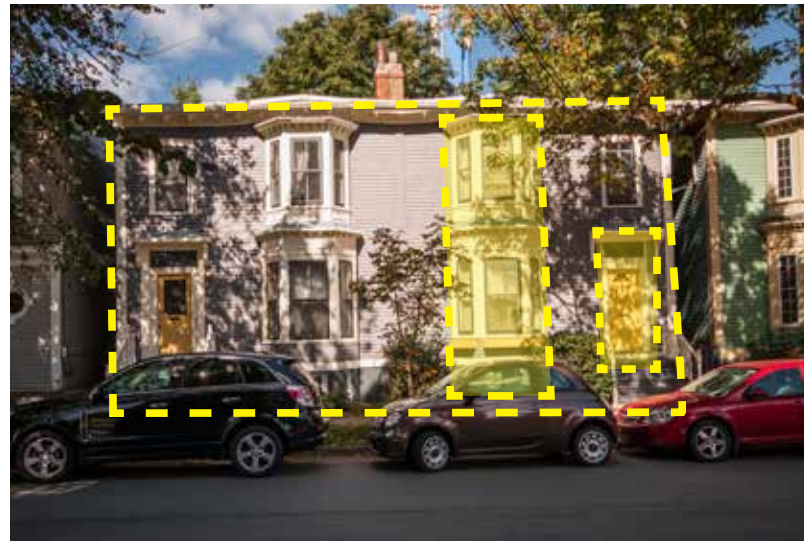
Initial Massing Strategy



# Context Sensitive

Scale form and materials of this project are a direct response to the surrounding context and architectural character of the neighborhood. The neighborhood is currently made up of large scale residential towers, mid-rise multi residential and single family Victorian row houses. The large scale and Medium scale multi residential currently in this neighborhood context does not address the human scale design features referenced in the draft centre plan. The existing single family Victorian Row houses do not address the need for strategic growth. This proposed design combines the human scale and active streetscape of the Victorian row houses with the multi residential density required to meet HRM growth targets. This combination of building typologies is tempered with setbacks, roof terraces, landscaping and articulated streetscapes. The proposed solution presents the human scale context sensitive streetscape design with a mid-rise portion of the building providing the required density.

The surrounding context of existing large scale multi residential buildings in this neighborhood should not be ignored. With its proximity to Saint Mary's, and Downtown, the proposed site presents itself as a great area for higher density multi residential development. We would suggest this area be considered as higher order residential as opposed to the current established residential designation.



- HUMAN SCALE MASSING
- ACTIVE STREETSCAPE



- DENSITY
- ARTICULATED BUILDING MASS
- HIGH QUALITY DURABLE MATERIALS





Direct Context Site Map / Context Views







Direct Context Massing





High Density Context





Mid-rise Context





Single Family Context





# Strategic Growth

The site and neighborhood that this development is located is serviced well by all major amenities and features required for additional density. The development is well positioned in close proximity to the Downtown, major open spaces and is well serviced by public transit.

The development is located close to a future corridor at Inglis street, intensive employment areas with the container Terminal, and institutional employment areas with Saint Marys, and Dalhousie.

The location of this development places it well for the additional density required to meet the Strategic Growth goals of the center plan.

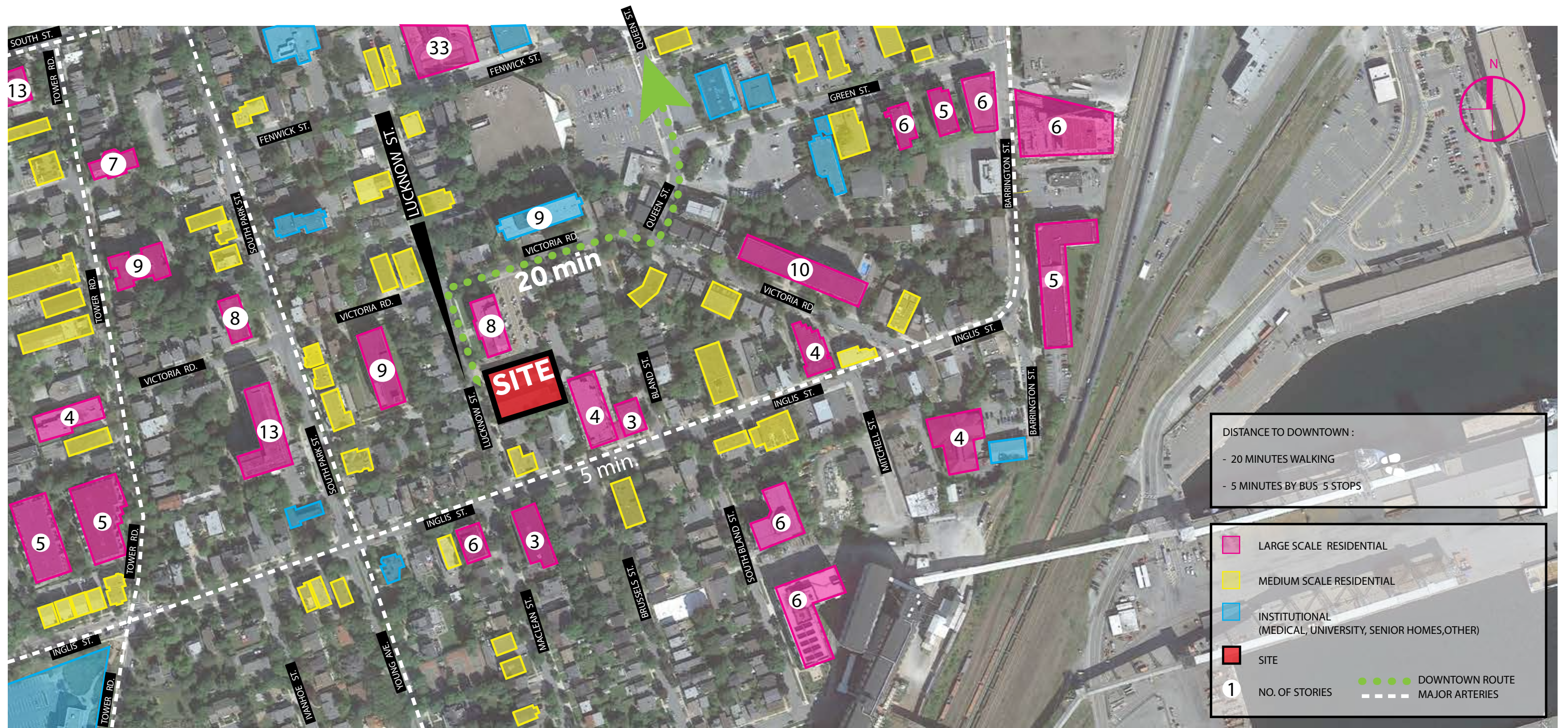
Our site is located within a

- 2min walk from 7 bus routes at Inglis and South Park street,
- 12 minute walk from Spring garden road and 22 bus routes.
- 5min walk to Saint Marys University
- 8 minutes to the container pier
- 14-minute walk to open space at Point Pleasant Park
- 9-minute walk to open space at Gorsebrook park
- 10-minute walk to downtown Halifax





# Strategic Growth



Direct Context Site Map



# Complete neighborhoods

This neighborhood has access to all of the needs for daily life. Grocery stores, schools, open space, areas of employment, active transit, transit, civic amenities and proximity to the downtown. The site location combined with articulated and active streetscape design makes for a strong case for additional density.





# Summary

Due to the fact that this development meets all of the goals of the center plan while not meeting heights or FAR we feel that it would make it a perfect candidate for further development through the Site specific MPS amendment process. We hope that this document has provided further clarity to the merits of the project and hope that HRM will reconsider it for inclusion in the group to be further refined in the amendment process.



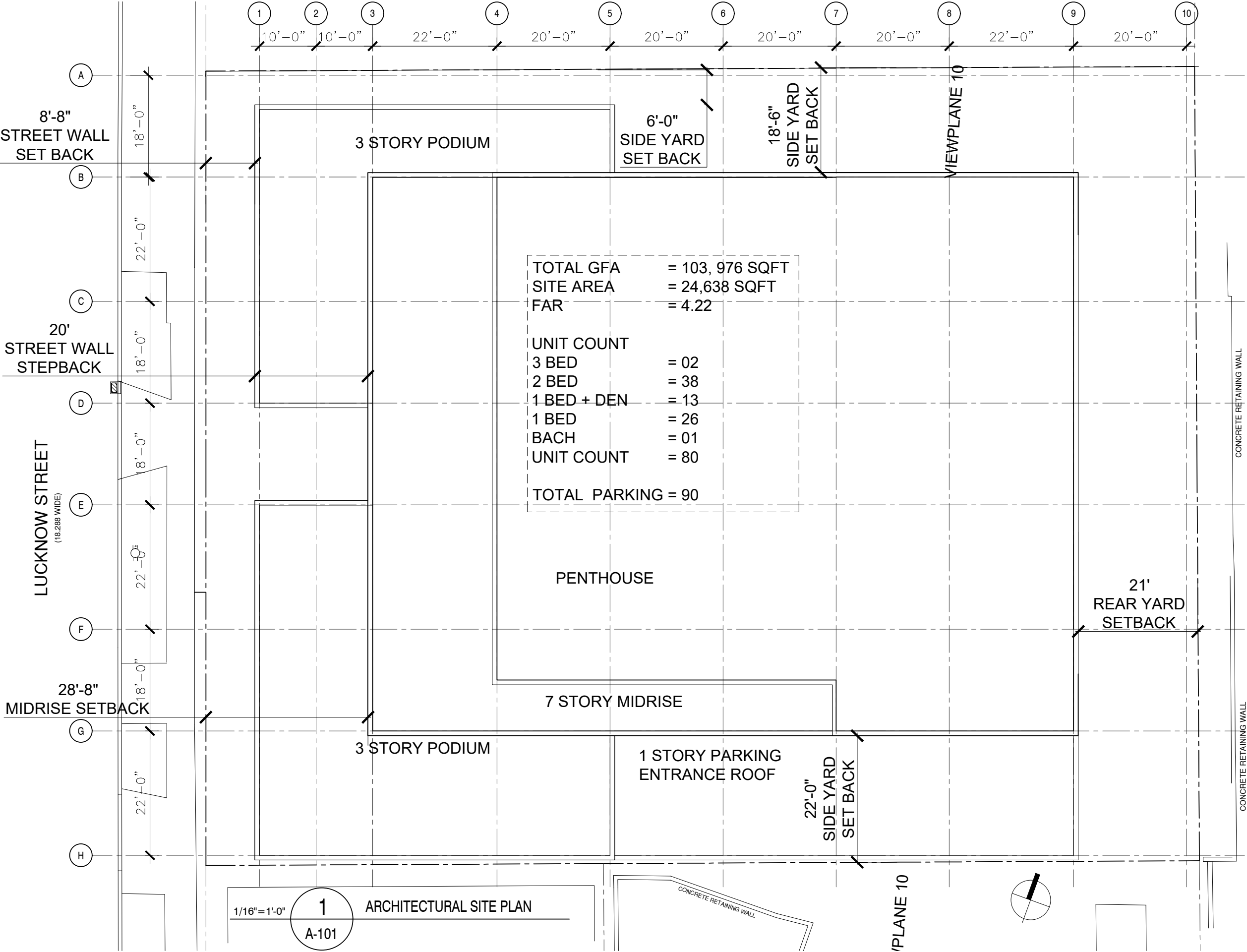


# Proposed Changes

The following Drawings illustrate the removal of One level from the midrise portion of the project and an adjustment to the penthouse level. This reduces the visual impact from the streetscape and neighboring properties.



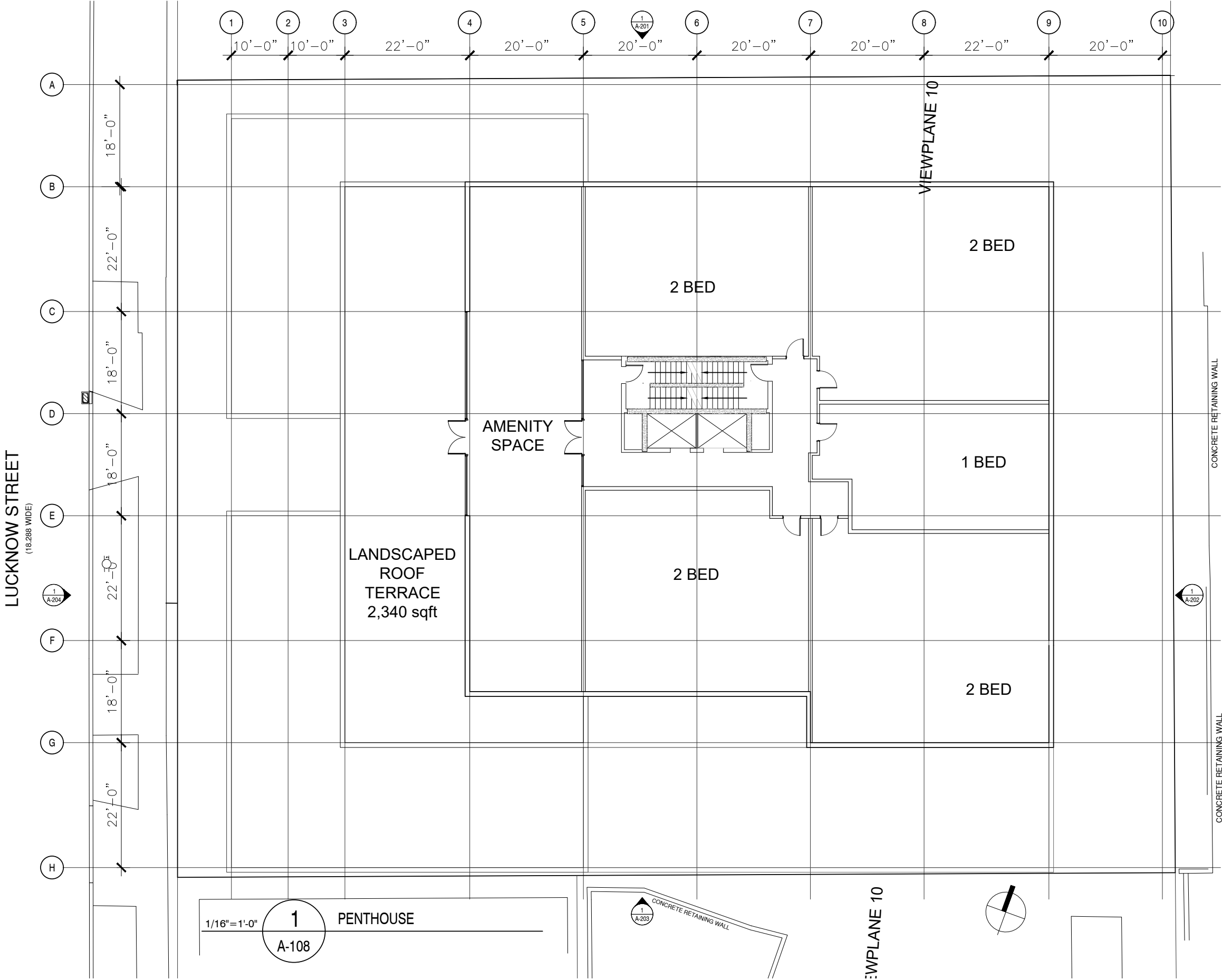




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|----------|------------------------|------------|
| KEY PLAN |                        |            |
| 03       | INITIAL DA APPLICATION | 2016.11.02 |
| 02       | PRELIMINARY HRM REVIEW | 2016.10.18 |
| 01       | ISSUE FOR REVIEW       | 2016.10.11 |

| REVISIONS                                     | DATE       |          |
|---|------------|----------|
| PROJECT                                       |            |          |
| 1027-1037 LUCKNOW STREET                      |            |          |
| DEVELOPMENT AGREEMENT<br>PLANNING APPLICATION |            |          |
| CLIENT  |            |          |
| SOUTHWEST PROPERTIES                          |            |          |
| SCALE   | DATE       |          |
| 1/16"=1'-0"                                   | 2016.10.11 |          |
| DRAWN BY                                      | CHECKED    | REVIEWED |
| CC/JB   |            |          |
| APPROVED                                      |            |          |
| CC  |            |          |
| SEAL  |            |          |
| NOT FOR<br>CONSTRUCTION                       |            |          |
| DRAWING                                       |            |          |
| ARCHITECTURAL_SITE_PLAN                       |            |          |
| DRAWING NO.                                   |            |          |
| A-101   |            |          |





EKISTICS PLANNING & DESIGN

KEY PLAN

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|----|------------------------|------------|
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REVISIONS DATE

PROJECT  
1027-1037 LUCKNOW STREET

DEVELOPMENT AGREEMENT  
PLANNING APPLICATION

CLIENT  
SOUTHWEST PROPERTIES

SCALE  
1/16"=1'-0"

DATE  
2016.10.11

DRAWN BY  
CC/JB

CHECKED

REVIEWED

APPROVED  
CC

SEAL

NOT FOR  
CONSTRUCTION

DRAWING  
PENTHOUSE

DRAWING NO.  
A-108





1/16"=1'-0" **1** ELEVATION - NORTH  
A-201



KEY PLAN

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REVISIONS DATE

PROJECT

1027-1037 LUCKNOW STREET

DEVELOPMENT AGREEMENT  
PLANNING APPLICATION

CLIENT  
SOUTHWEST PROPERTIES

SCALE  
1/16"=1'-0"

DATE  
2016.10.11

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CC/JB

CHECKED  
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APPROVED  
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SEAL

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CONSTRUCTION

DRAWING  
ELEVATIONS

DRAWING NO.  
**A-201**





1/16"=1'-0" **1** ELEVATION - EAST  
A-202



EKISTICS PLANNING & DESIGN

KEY PLAN

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PROJECT  
1027-1037 LUCKNOW STREET

DEVELOPMENT AGREEMENT  
PLANNING APPLICATION

CLIENT  
SOUTHWEST PROPERTIES

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| SCALE<br>1/16"=1'-0" | DATE<br>2016.10.11 |
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APPROVED  
CC

SEAL  
  
NOT FOR  
CONSTRUCTION

DRAWING  
ELEVATIONS

DRAWING NO.  
**A-202**





1/16" = 1'-0"

1

ELEVATION - SOUTH

A-203



KEY PLAN

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|----|------------------------|------------|
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PLANNING APPLICATION

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SOUTHWEST PROPERTIES

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APPROVED  
CC

SEAL  
  
NOT FOR  
CONSTRUCTION

DRAWING  
ELEVATIONS

DRAWING NO.  
  
A-203





1/16"=1'-0" **1** ELEVATION - WEST  
A-204



KEY PLAN

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|    |                        |            |
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CLIENT  
SOUTHWEST PROPERTIES

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APPROVED  
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SEAL  
  
NOT FOR  
CONSTRUCTION

DRAWING  
ELEVATIONS

DRAWING NO.  
**A-204**